DEVELOPMENT APPLICATION

JORDAN SPRINGS - INDEPENDENT LIVING APARTMENTS

JORDAN SPRINGS BOULEVARD, JORDAN SPRINGS 2747
LOT 1, DP1248137

ARCHITECTURAL DRAWING LIST

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DA_2_20501	BUILDING B GENERAL ARRANGEMENT LEVEL 05	2
DA_2_20601	BUILDING B GENERAL ARRANGEMENT ROOF	2
DA_2_30001	BUILDING B ELEVATIONS SHEET 1	2
DA_2_30002	BUILDING B ELEVATIONS SHEET 2	2
DA_2_40001	BUILDING B SECTIONS SHEET 1	2
DA_2_40002	BUILDING B SECTIONS SHEET 2	2
DA_3_10001	BUILDING C GENERAL ARRANGEMENT BASEMENT	2
DA_3_20001	BUILDING C GENERAL ARRANGEMENT GROUND FLOOR	2
DA_3_20101	BUILDING C GENERAL ARRANGEMENT LEVEL 01-03	2
DA_3_20401	BUILDING C GENERAL ARRANGEMENT LEVEL 04	2
DA_3_20501	BUILDING C GENERAL ARRANGEMENT LEVEL 05	2
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INDICATIVE IMAGE - ARTIST IMPRESSION ONLY

FOR DEVELOPMENT APPLICATION

Key Plan

Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	27/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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PRINCIPAL ARCHITECT
Lendlease Integrated Solutions
ABN 51 632 932 391 **Level 14, Tower Three, International Towers Sydney**
Nominated Architect: **Exchange Place, 300 Barangaroo Avenue,**
Stephaine Smith | NSW ARB 6280 **Barangaroo NSW 2000**

STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS:
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Clouston Associates
PO BOX R1388, Royal
Exchange NSW
NSW Australia 1225

PLANNER:
Keylan Consulting
Suite 2, 1 Rialto Lane,
Manly
NSW Australia 2095

CLIENT:
Lendlease Retirement Living
Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

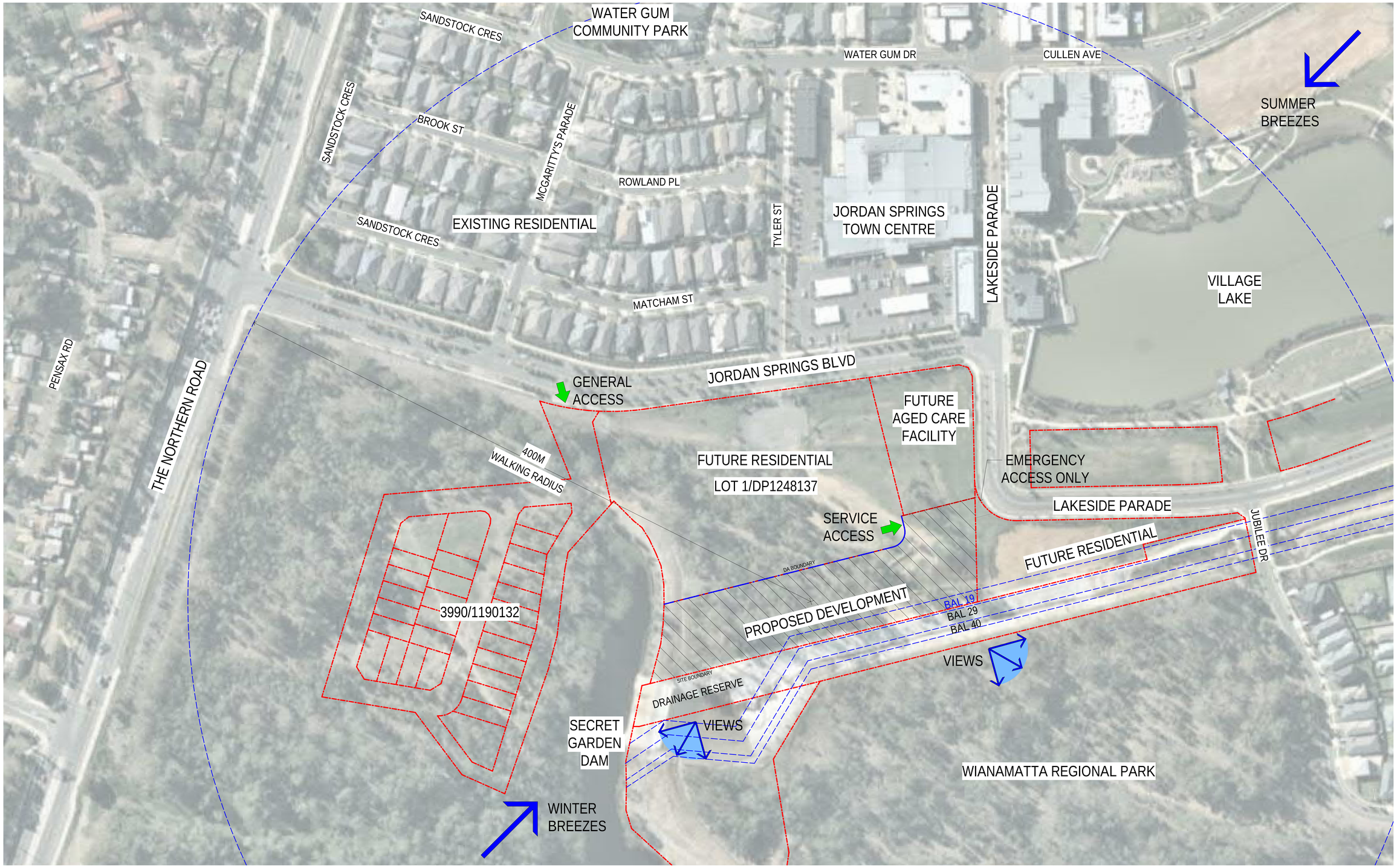
Client
LENDLEASE
RETIREMENT LIVING

Title
COVER SHEET

Scale
@ B1

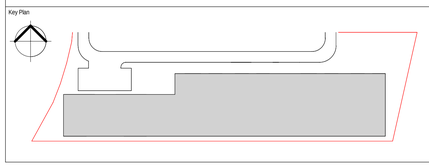
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_00000	2



FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	27/05/2020
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LEGEND

- EXISTING VEGETATION
- EXISTING WATER BODY
- WIND DIRECTION
- VIEW DIRECTION
- SITE ACCESS
- PROPOSED TREE
- VISITOR CARPARK
- SITE BOUNDARY
- DA BOUNDARY
- BAL ZONE
- BASEMENT EXTENT BELOW
- BAL XX — BUSHFIRE ATTACK LEVEL XX

GENERAL NOTES:

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Project: JORDAN SPRINGS

Client: LENDLEASE RETIREMENT LIVING

Title: LOCATION PLAN

Scale: 1 : 1000 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_00001	2

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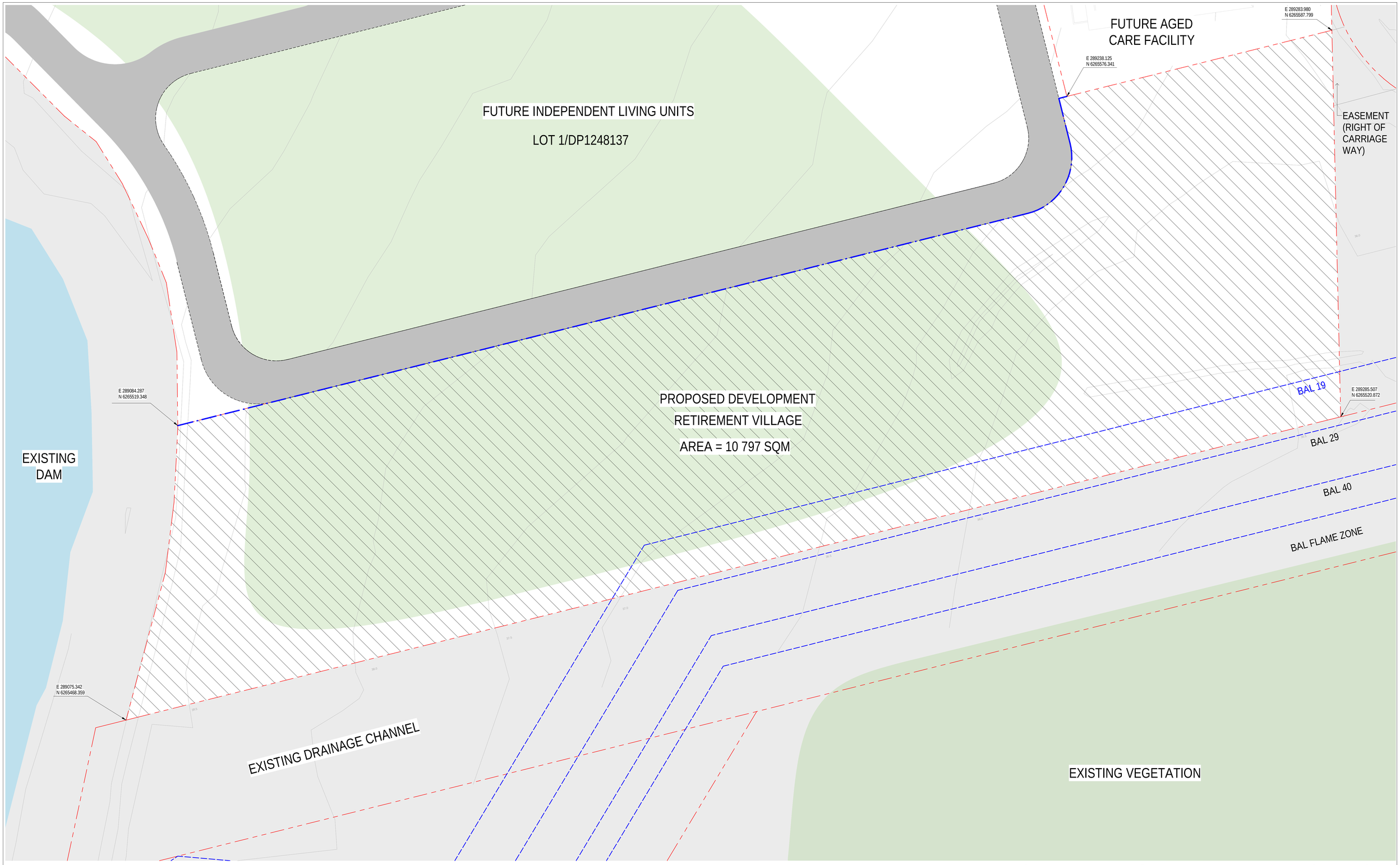
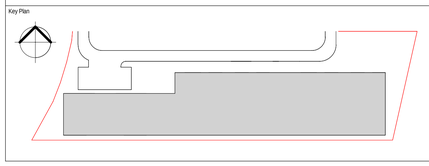


FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
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1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
SITE SURVEY

Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_00003	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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GENERAL ACCESS FROM JORDAN SPRINGS BLVD

FUTURE INDEPENDENT LIVING UNITS

FUTURE AGED CARE FACILITY

REMOVABLE BOLLARDS FOR EMERGENCY ACCESS ONLY

PERMEABLE PAVING

49 m

SITE BOUNDARY

PEDESTRIAN FOOTPATH CONNECTION TO LAKESIDE PDE

PEDESTRIAN FOOTPATH

PEDESTRIAN RAMP

39821

EASEMENT

PROPOSED RETAINING WALLS

VEHICULAR RAMP EXIT FROM BASEMENT

67 m

65300

SERVICE RAMP TO WASTE COLLECTION

FINAL STAGE ONE WAY ENTRY TO BASEMENT. REFER TO STAGING PLANS FOR MODIFICATIONS TO RAMP DURING CONSTRUCTION.

VISITORS PARKING. REMAINING VISITORS PARKING LOCATED WITHIN BASEMENT

VEHICULAR ENTRY TO COMMUNITY CENTRE

PROPOSED FIRE BOOSTER LOCATION

152 m

PROPOSED BUILDING B

PROPOSED BUILDING C

PROPOSED RETAINING WALL

DA BOUNDARY

1

2

3

AMBULANCE ZONE

BAL 19

EXISTING DAM

MAINTENANCE ACCESSWAY BEHIND LANDSCAPED PODIUM

MAIN ENTRY TO BUILDING A AND COMMUNITY CENTRE

BAL 29

RAINWATER HARVESTING TANK LOCATED IN BASEMENT

LANDSCAPED PODIUM

BAL 40

COMMUNITY CENTRE COURTYARD

PROPOSED BUILDING A

47 m

217 m

BAL FLAME ZONE

SITE BOUNDARY

EXISTING DRAINAGE CHANNEL

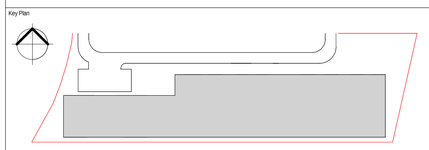
SOUTHERN WALKWAY TO BACK OF BUILDING A

PROPOSED RETAINING WALL

EXISTING VEGETATION

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- EXISTING VEGETATION
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CLIENT:
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Project: JORDAN SPRINGS

Client: LENDLEASE RETIREMENT LIVING

Title: SITE PLAN

Scale: 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_00004	2

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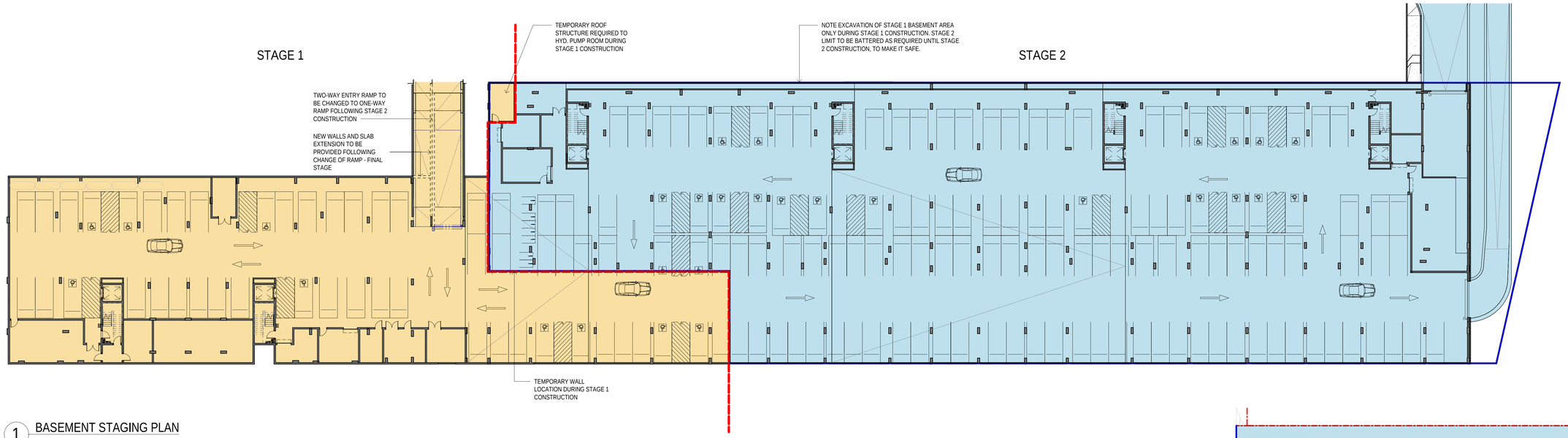
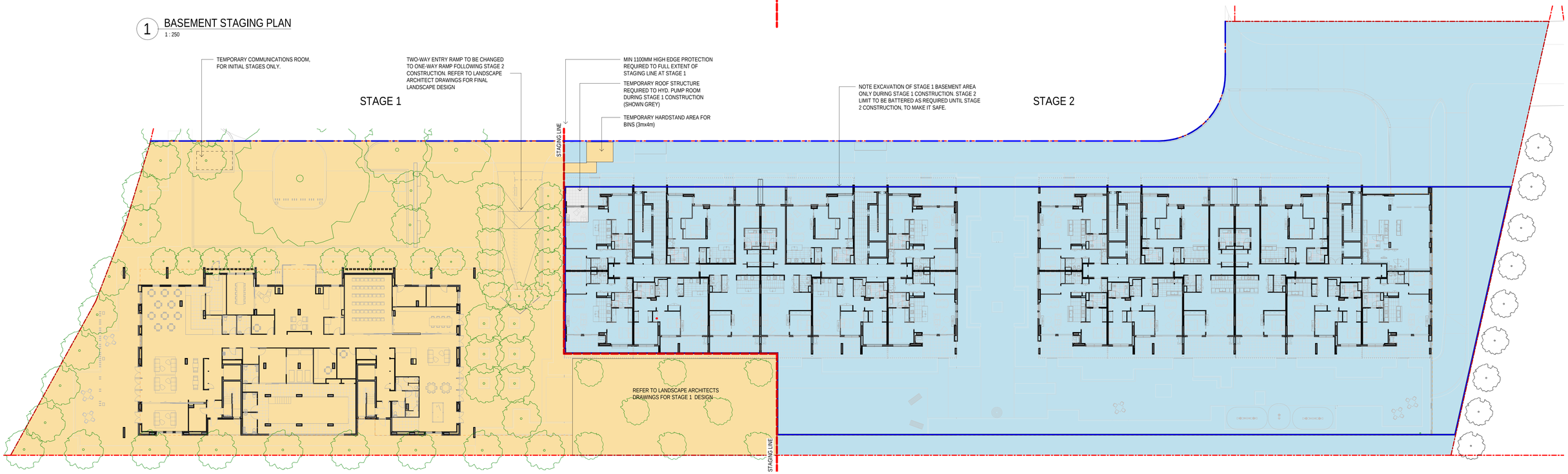


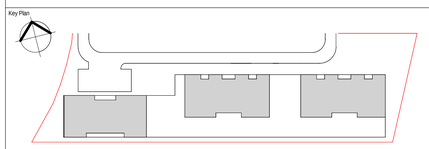
1 BASEMENT STAGING PLAN
1 : 250



2 GROUND FLOOR STAGING PLAN
1 : 250

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- STAGE 1 CONSTRUCTION
- STAGE 2 CONSTRUCTION
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY

GENERAL NOTES:

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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
STAGING PLAN SHEET 1

Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_00005	2

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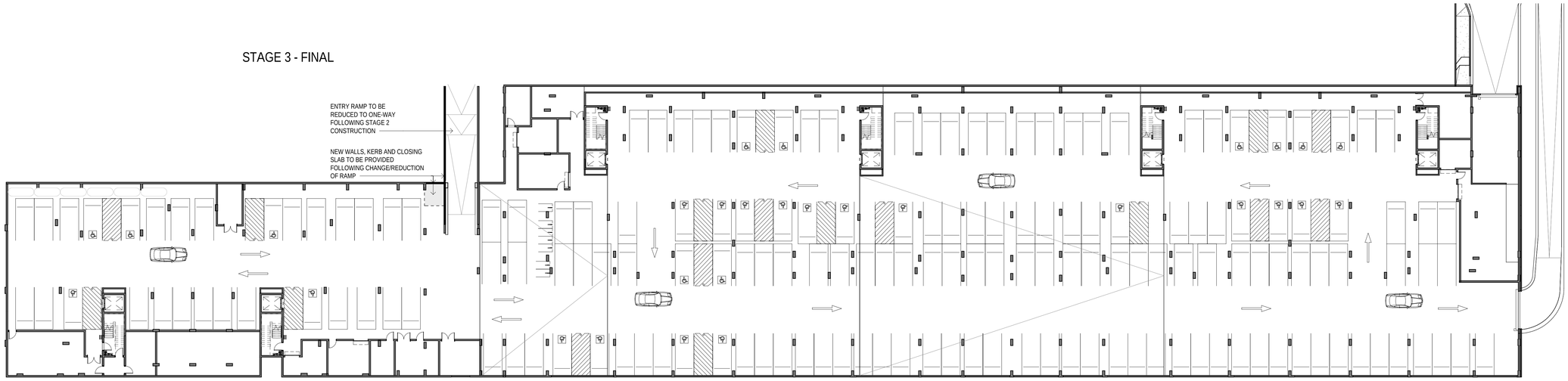
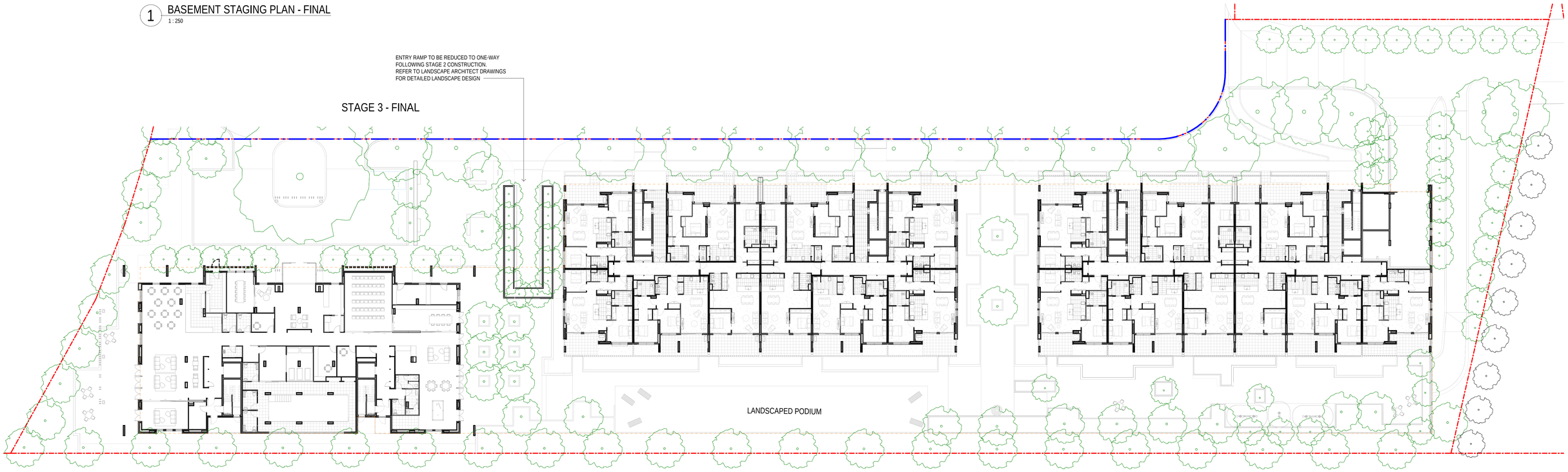


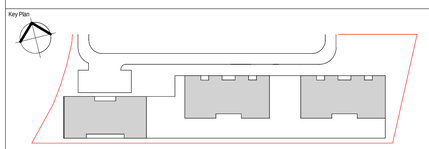
1 BASEMENT STAGING PLAN - FINAL
1 : 250



2 GROUND FLOOR STAGING PLAN - FINAL
1 : 250

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- STAGE 1 CONSTRUCTION
- STAGE 2 CONSTRUCTION
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY

GENERAL NOTES:

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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
STAGING PLAN

Scale			
1 : 250 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_00006	2

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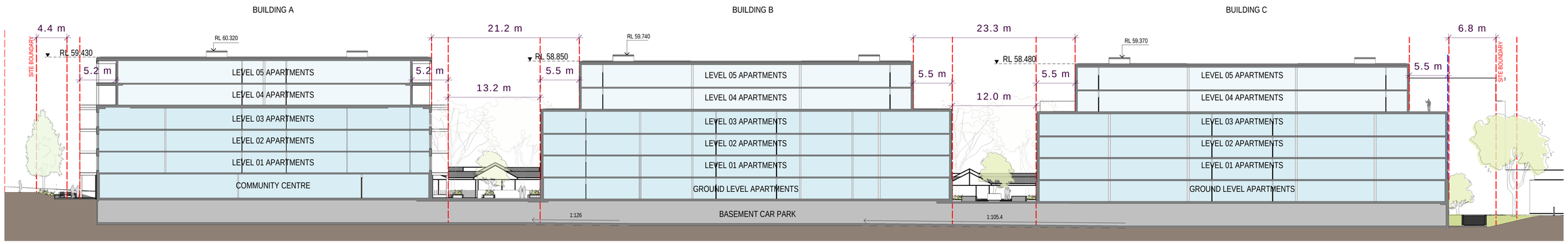
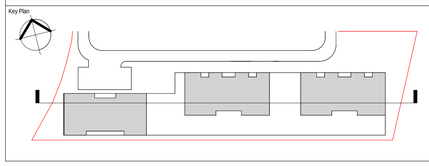


1 SECTION OVERALL
1 : 250

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
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LANDSCAPE:
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NSW Australia 1225

PLANNER:
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NSW Australia 2095

CLIENT:
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Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING SETBACK
DIAGRAM SECTIONS
SHEET 1

Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_00007	2

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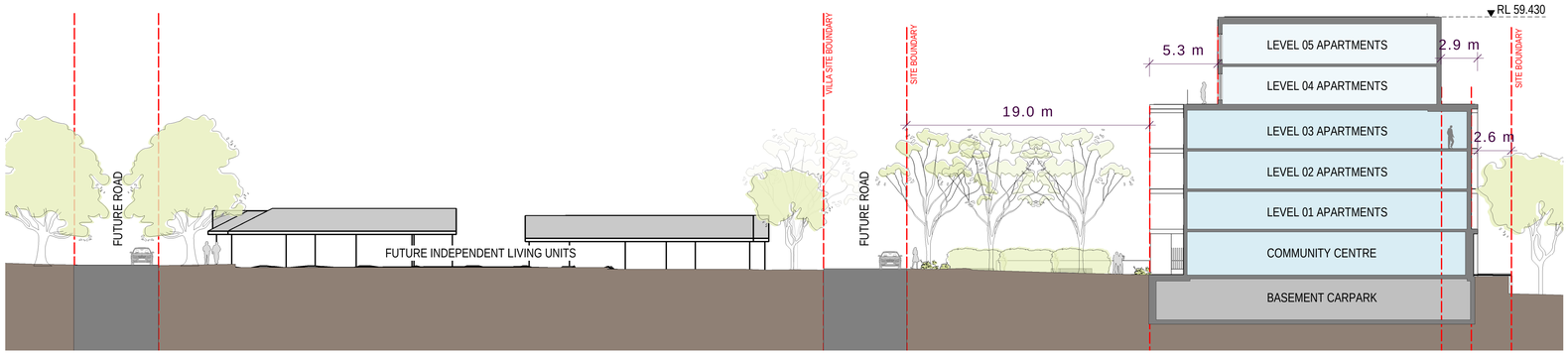
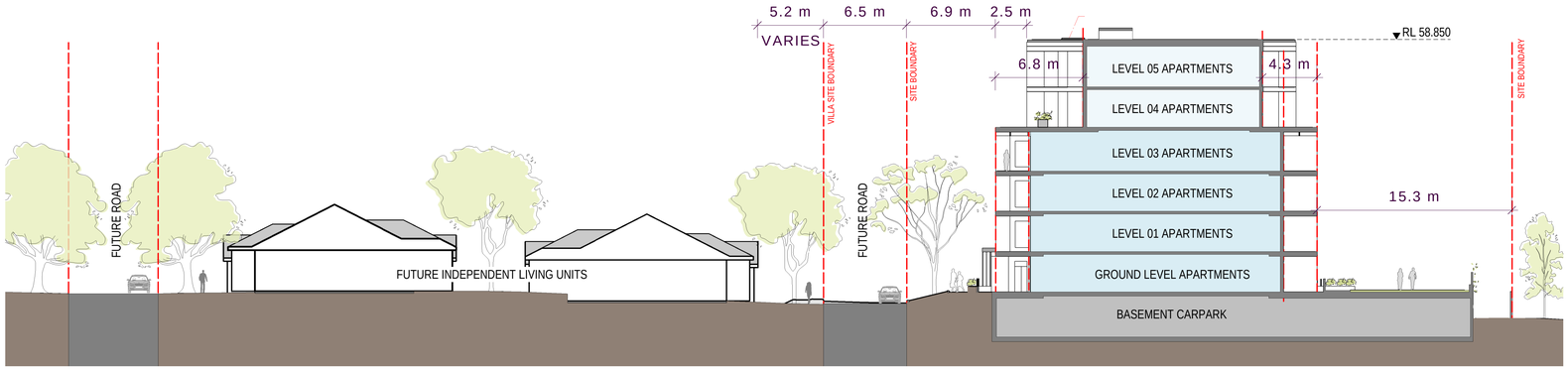
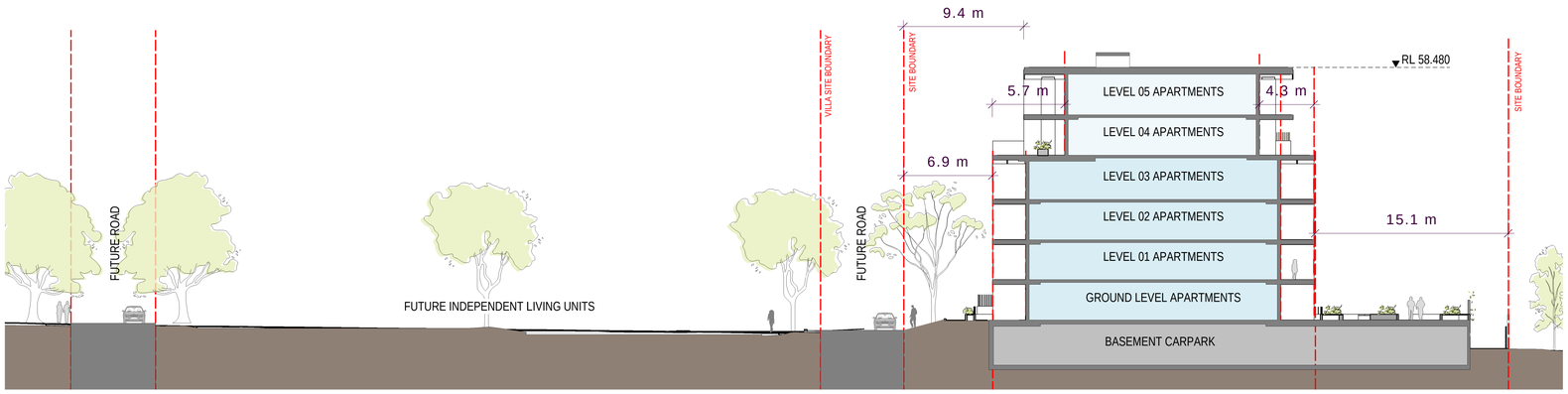


1 OVERALL SECTION - BUILDING A
1 : 200



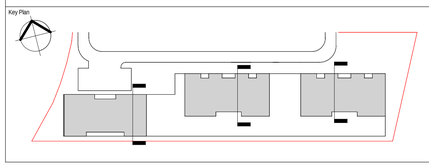
2 OVERALL SECTION- BUILDING B & C - CONDITION 1
1 : 200



3 OVERALL SECTION- BUILDING B & C - CONDITION 2
1 : 200

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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CLIENT:
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING SETBACK
DIAGRAM SECTIONS
SHEET 2

Scale			
1 : 200 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

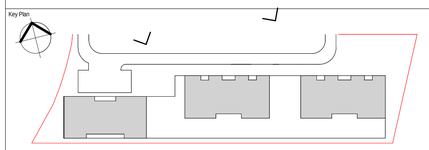
Project No.	Drawing No.	Revision
260436	DA_0_00008	2

IMAGE 1 - PERSPECTIVE TO BUILDING C NORTH EAST CORNER
(NOT SHOWING ALL PROPOSED TREES NEXT TO BOUNDARY FENCING FOR BUILDING VOLUME VISUALIZATION CLARITY)

IMAGE 2 - PERSPECTIVE TO BUILDING C NORTH EAST CORNER

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	27/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDINGS IMAGES
SHEET 1

Scale @ B1

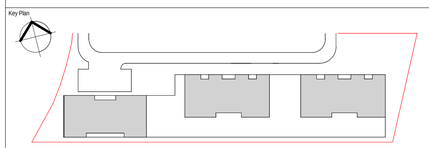
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_00009	2

IMAGE 1 - PERSPECTIVE TO BUILDING C SOUTH EAST CORNER

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	27/05/2020

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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NSW Australia 1225

Project
JORDAN SPRINGS

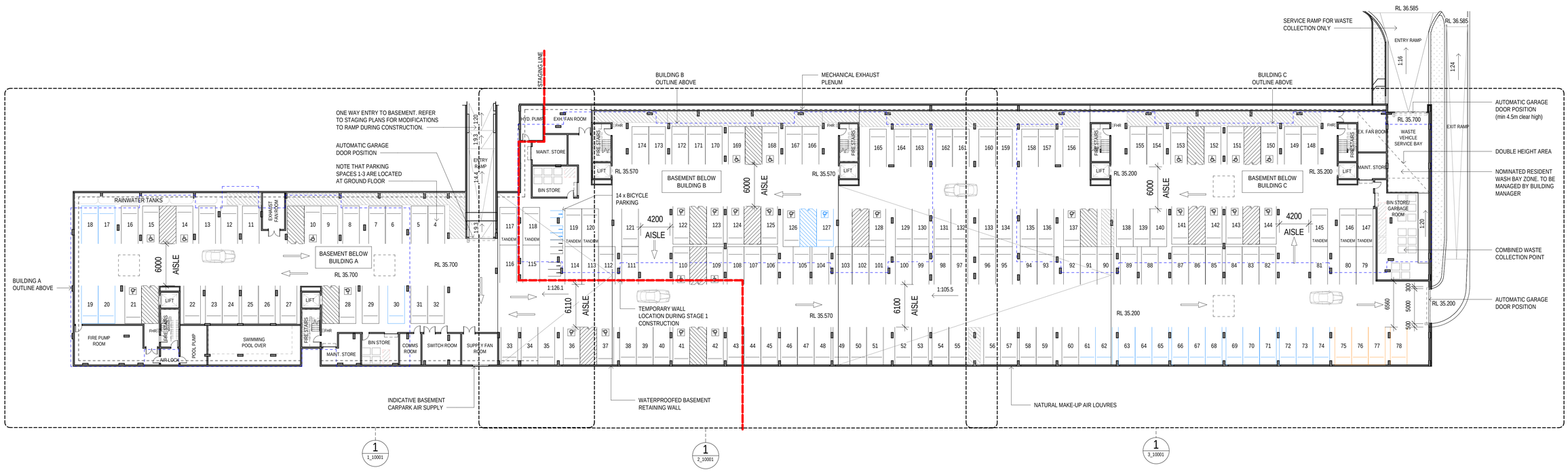
Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING IMAGES
SHEET 2

Scale @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

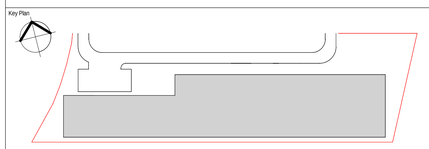
Project No.	Drawing No.	Revision
260436	DA_0_00010	1



OVERALL PARKING SCHEDULE			
Comments	Level	Model	Count
RESIDENT			
RESIDENT	BASEMENT	Accessible Carpark Bay	28
RESIDENT	BASEMENT	Standard Carpark Bay	112
RESIDENT	BASEMENT	Tandem Carpark Bay	7
			147
SERVICE/STAFF			
SERVICE/STAFF	BASEMENT	Standard Carpark Bay	4
			4
VISITOR			
VISITOR	BASEMENT	Accessible Carpark Bay	1
VISITOR	GROUND	Accessible Carpark Bay	2
VISITOR	BASEMENT	Standard Carpark Bay	19
VISITOR	GROUND	Standard Carpark Bay	1
			23
			174

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR SPACE
- VISITOR CAR SPACE
- SERVICE/STAFF CAR SPACE
- STAGING LINE
- OUTLINE OF BUILDING EXTENT ABOVE
- INDICATIVE ALLOCATION OF RESIDENT STORAGE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE LOCATION/DISTRIBUTION OF THE RESIDENT, VISITOR AND SERVICE/STAFF CAR PARK SPACES

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CLIENT:
Lendlease Retirement Living Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
OVERALL PLAN BASEMENT

Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_10101	2

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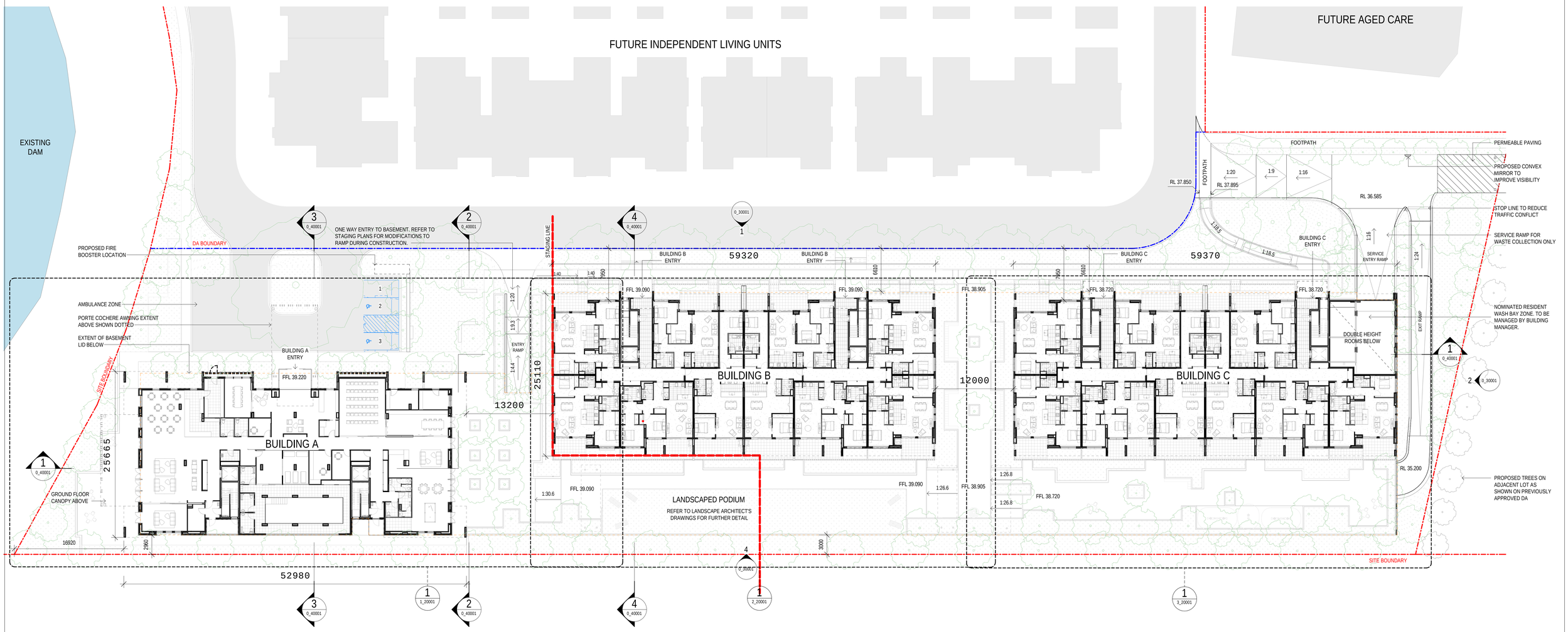
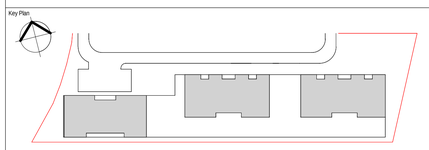


	BLDG	FFL	SSL
GF	A	FFL 39.220	SSL 39.200
	B	FFL 39.090	SSL 39.070
	C	FFL 38.720	SSL 38.700

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE RAIN WATER OUTLET (RWO) LOCATIONS SHOWN TO EXPOSED ROOF AREAS

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CLIENT:
Lendlease Retirement Living Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project: JORDAN SPRINGS

Client: LENDLEASE RETIREMENT LIVING

Title: OVERALL PLAN GROUND FLOOR

Scale: 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_20001	2

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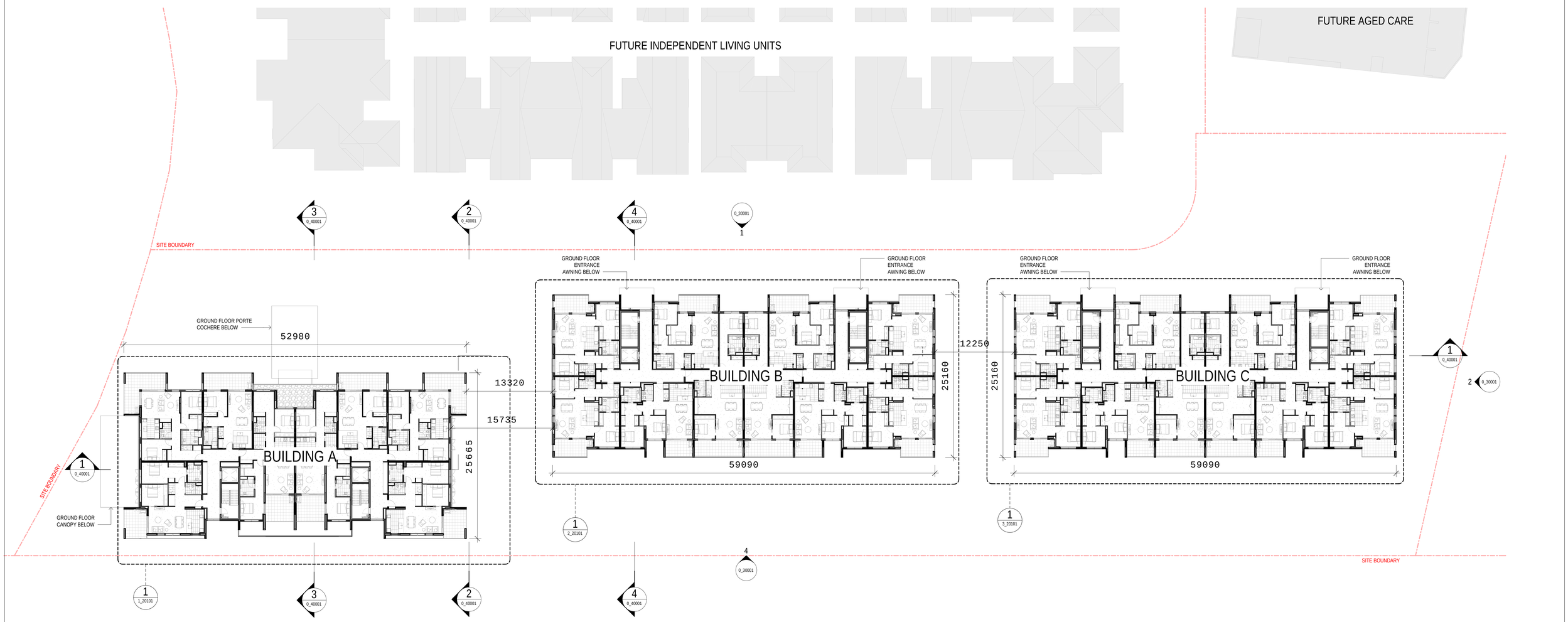

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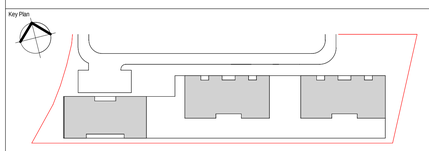
LVL 1	A	FFL 42.820	SSL 42.800
	B	FFL 42.240	SSL 42.220
	C	FFL 41.870	SSL 41.850
LVL 2	A	FFL 45.970	SSL 45.950
	B	FFL 45.390	SSL 45.370
	C	FFL 45.020	SSL 45.000
LVL 3	A	FFL 49.130	SSL 49.100
	B	FFL 48.540	SSL 48.520
	C	FFL 48.170	SSL 48.150

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE RAIN WATER OUTLET (RWO) LOCATIONS SHOWN TO EXPOSED ROOF AREAS

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Stephaine Smith | NSW ARB 6280 **Barangaroo NSW 2000**

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CLIENT:
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
OVERALL PLAN
LEVEL 01 - 03

Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_20101	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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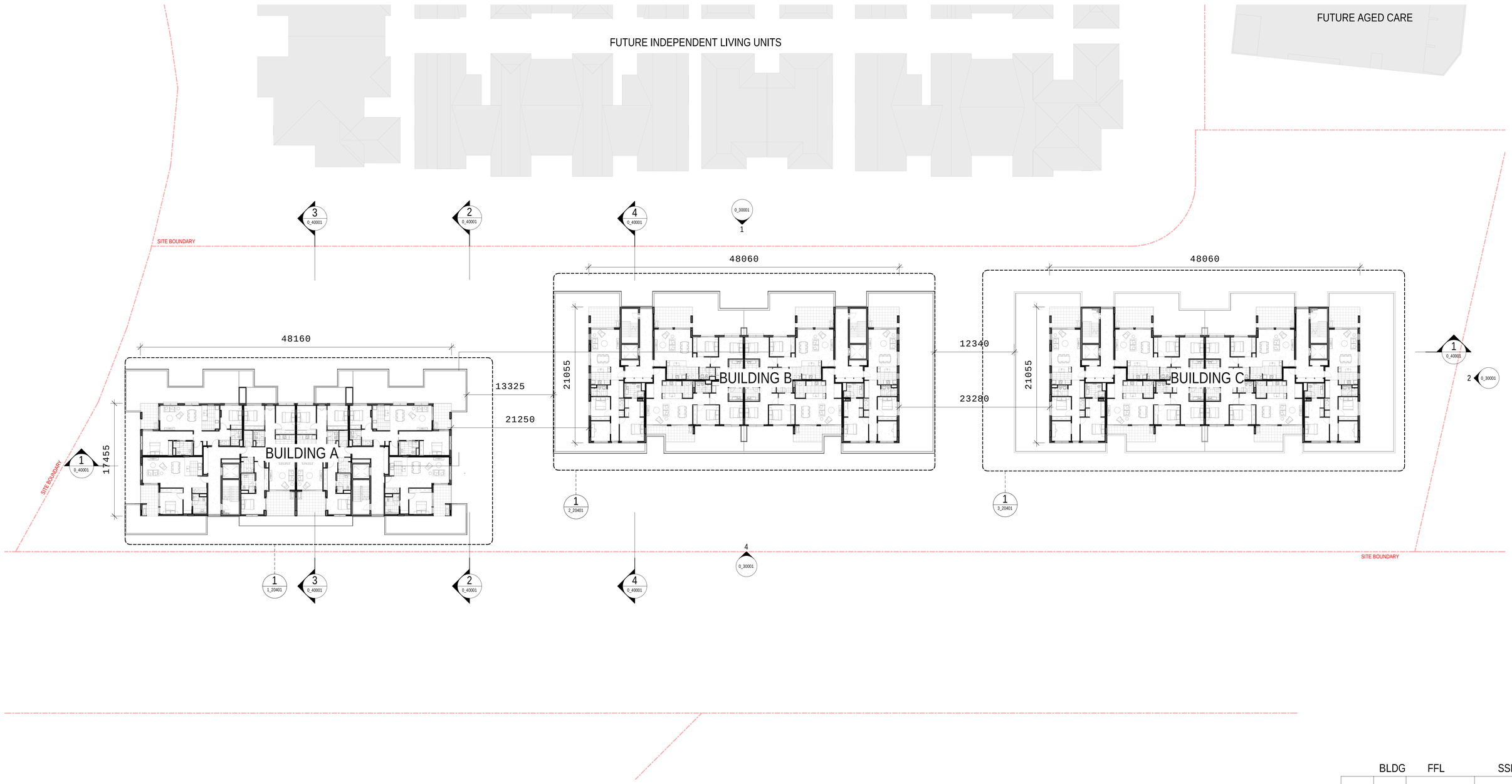

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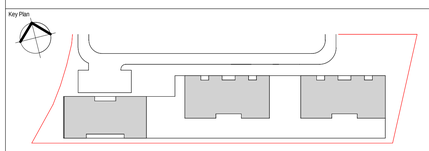
LVL 4	A	FFL 52.570	SSL 52.550
	B	FFL 51.990	SSL 51.970
	C	FFL 51.620	SSL 51.600

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE RAIN WATER OUTLET (RWO) LOCATIONS SHOWN TO EXPOSED ROOF AREAS

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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
OVERALL PLAN
LEVEL 04

Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_20401	2

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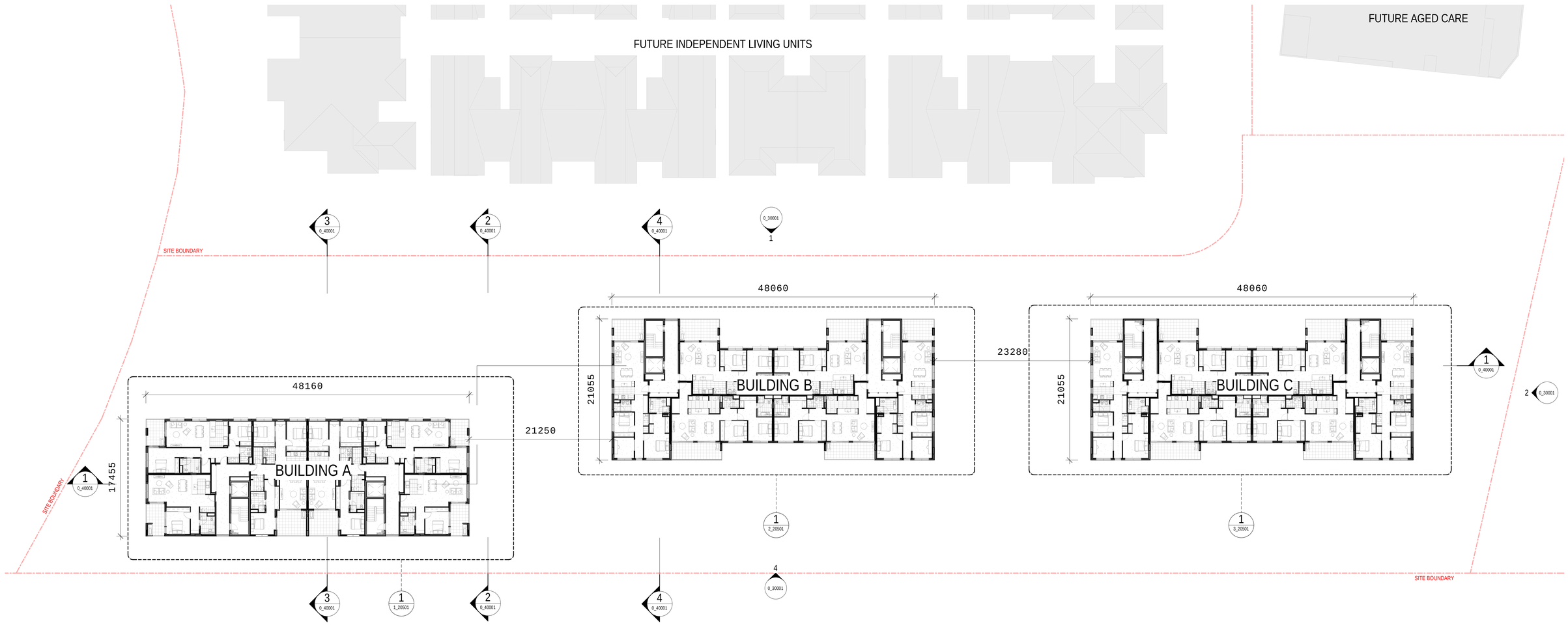
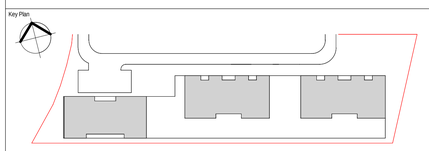
Always take figured dimensions in preference to scaling.



	BLDG	FFL	SSL
LVL 5	A	FFL 55.720	SSL 55.700
	B	FFL 55.140	SSL 55.120
	C	FFL 54.770	SSL 54.750

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE RAIN WATER OUTLET (RWO) LOCATIONS SHOWN TO EXPOSED ROOF AREAS

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PRINCIPAL ARCHITECT
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ABN 51 632 932 391 Level 14, Tower Three, International Towers Sydney
Nominated Architect: Exchange Place, 300 Barangaroo Avenue,
Stephanie Smith | NSW ARB 6280 Barangaroo NSW 2000

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NSW Australia 2259

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PO BOX R1388, Royal
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NSW Australia 1225

PLANNER:
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Suite 2, 1 Rialto Lane,
Manly
NSW Australia 2095

CLIENT:
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Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
OVERALL PLAN
LEVEL 05

Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	SS: Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_20501	2

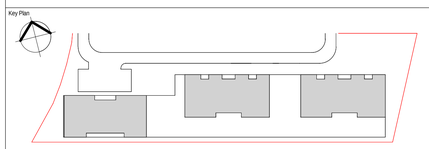
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

If this drawing is printed or plotted at a size other than B1 - DO NOT SCALE DIMENSIONS FROM DRAWING
Always take figured dimensions in preference to scaling.

	BLDG	FFL	SSL
ROOF	A	FFL 59.430	SSL 59.200
	B	FFL 58.850	SSL 58.620
	C	FFL 58.480	SSL 58.250

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
OVERALL PLAN
ROOF

Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_20601	2

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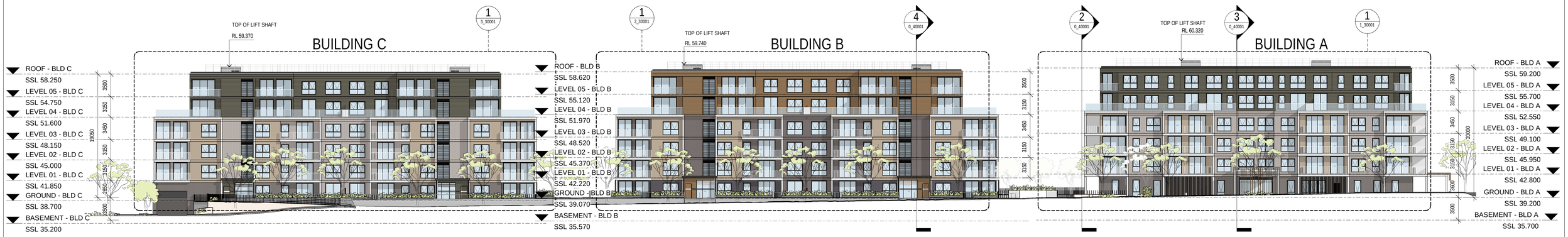
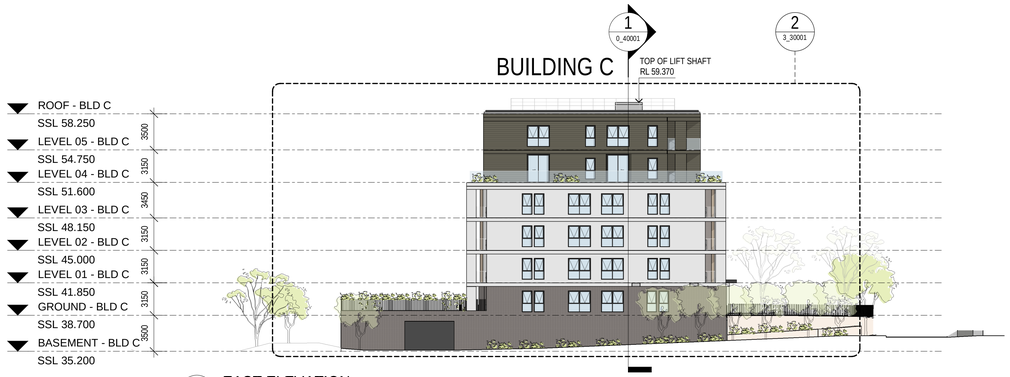
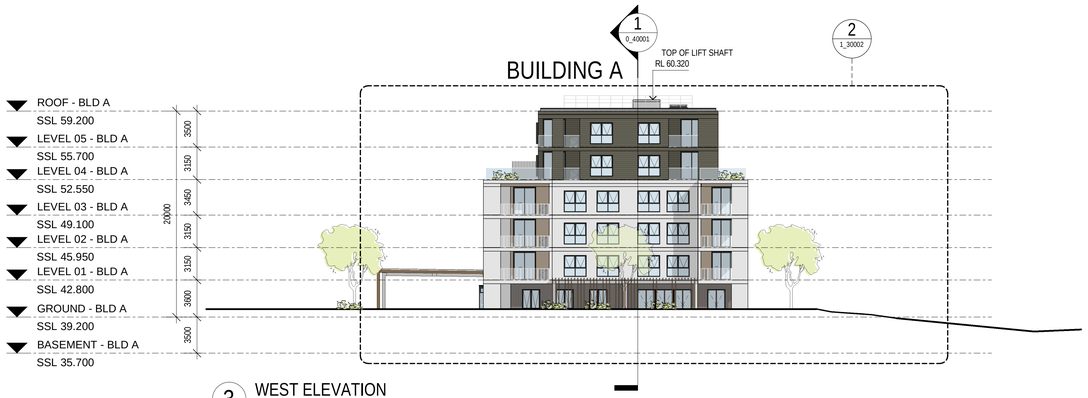
If this drawing is printed or plotted at a size other than B1 - DO NOT SCALE DIMENSIONS FROM DRAWING
Always take figured dimensions in preference to scaling.



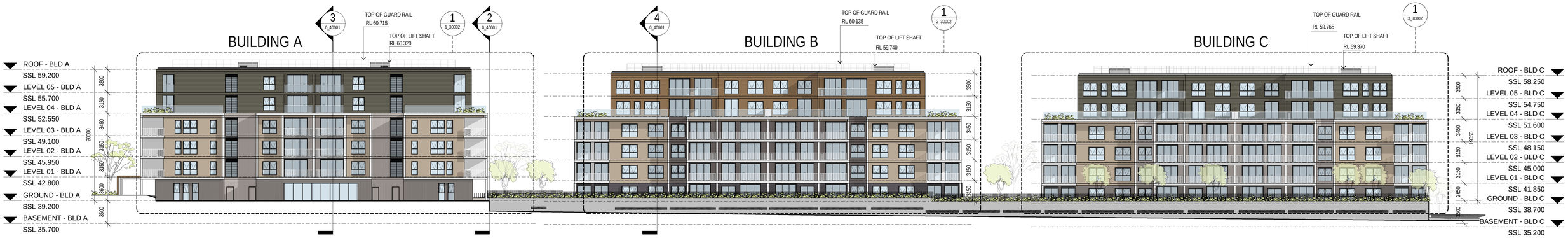
1 NORTH ELEVATION
1 : 250



2 EAST ELEVATION
1 : 250



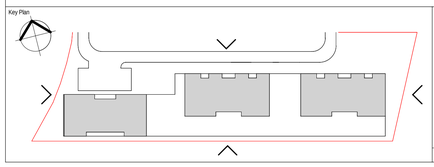
3 WEST ELEVATION
1 : 250



4 SOUTH ELEVATION
1 : 250

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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CLIENT:
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Jordan Springs Holding Pty Ltd
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Project
JORDAN SPRINGS

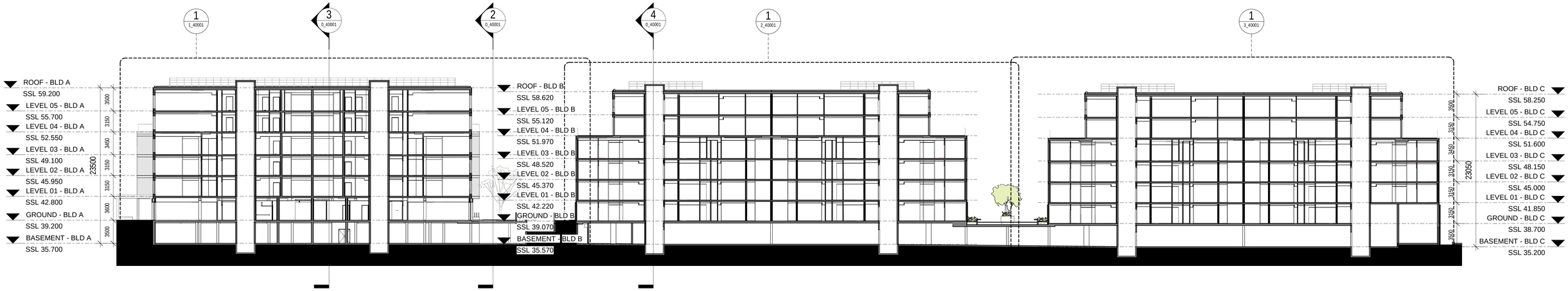
Client
LENDLEASE RETIREMENT LIVING

Title
OVERALL ELEVATIONS SHEET 1

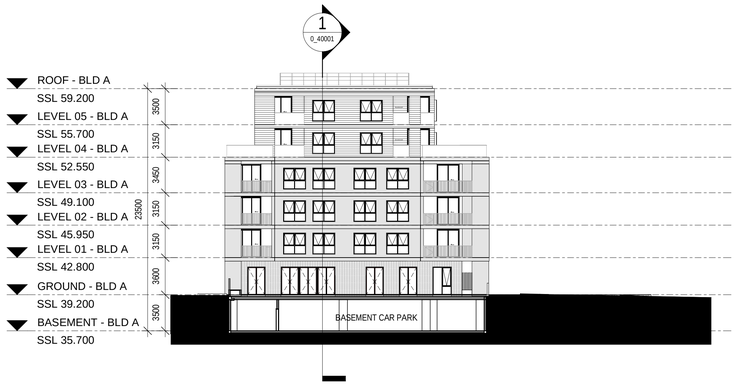
Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

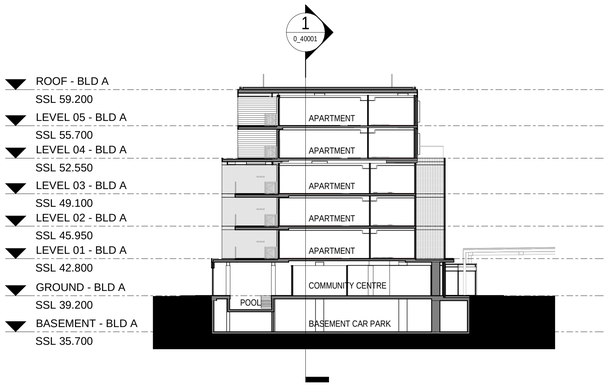
Project No.	Drawing No.	Revision
260436	DA_0_30001	2



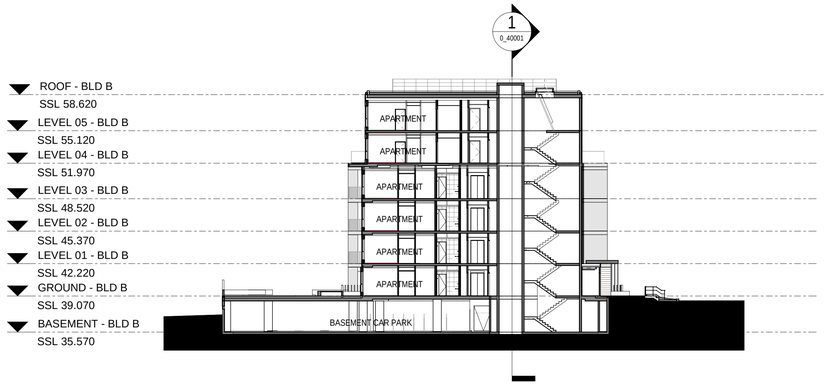
1 SECTION OVERALL
1 : 250



2 SECTION AT PODIUM - BUILDING A
1 : 250



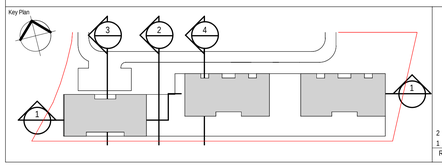
3 SECTION AT POOL - BUILDING A
1 : 250



4 SECTION AT STAIR - BUILDING B
1 : 250

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

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CLIENT:
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
OVERALL SECTIONS
SHEET 1

Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_0_40001	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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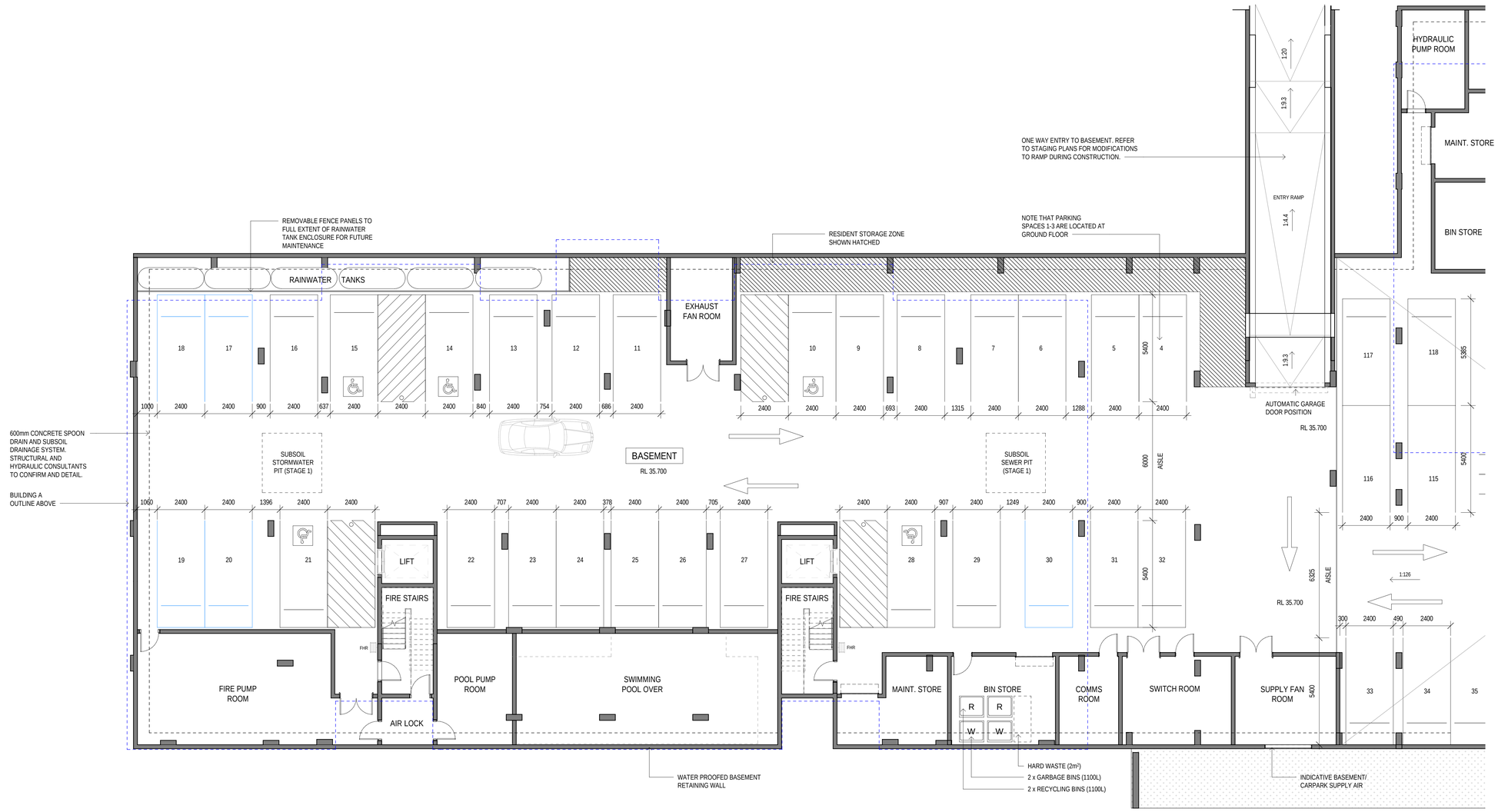
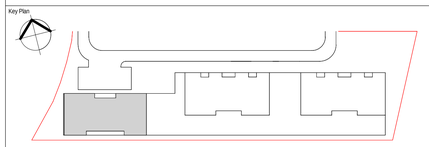


FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR SPACE
- VISITOR CAR SPACE
- SERVICE/STAFF CAR SPACE
- STAGING LINE
- OUTLINE OF BUILDING EXTENT ABOVE
- INDICATIVE ALLOCATION OF RESIDENT STORAGE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE LOCATION/DISTRIBUTION OF THE RESIDENT, VISITOR AND SERVICE/STAFF CAR PARK SPACES

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PRINCIPAL ARCHITECT
Lendlease Integrated Solutions
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Nominated Architect: **Exchange Place, 300 Barangaroo Avenue,**
Stephanie Smith | NSW ARB 6280 **Barangaroo NSW 2000**

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Manly
NSW Australia 2095

CLIENT:
Lendlease Retirement Living
Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING A
GENERAL ARRANGEMENT
BASEMENT

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA
Project No.	Drawing No.		Revision
260436	DA_1_10001		2

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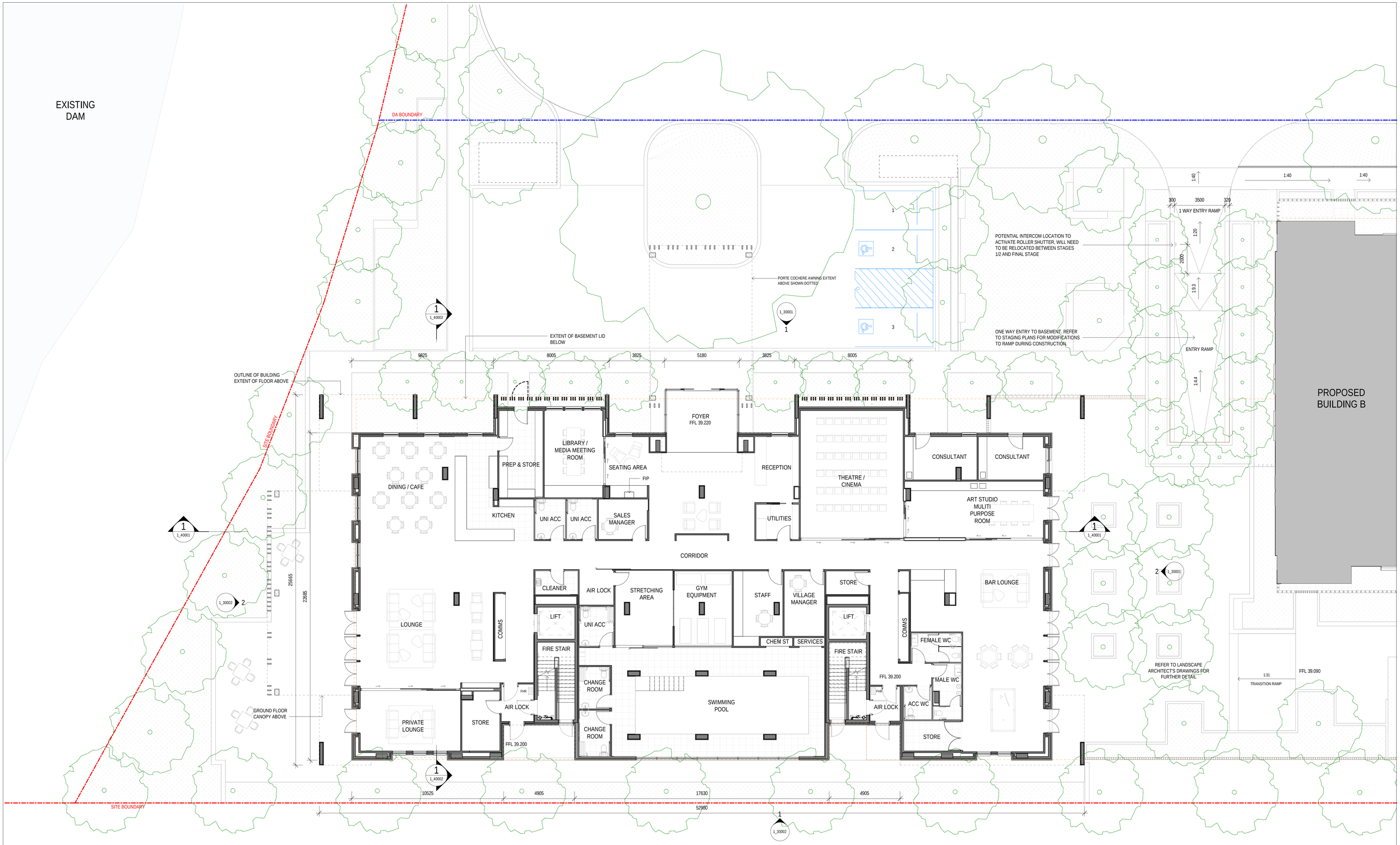

FOR DEVELOPMENT APPLICATION

Key Plan

Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE RAIN WATER OUTLET (RWO) LOCATIONS SHOWN TO EXPOSED ROOF AREAS

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CLIENT:
Lendlease Retirement Living Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING A
GENERAL ARRANGEMENT
GROUND FLOOR

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_1_20001	2

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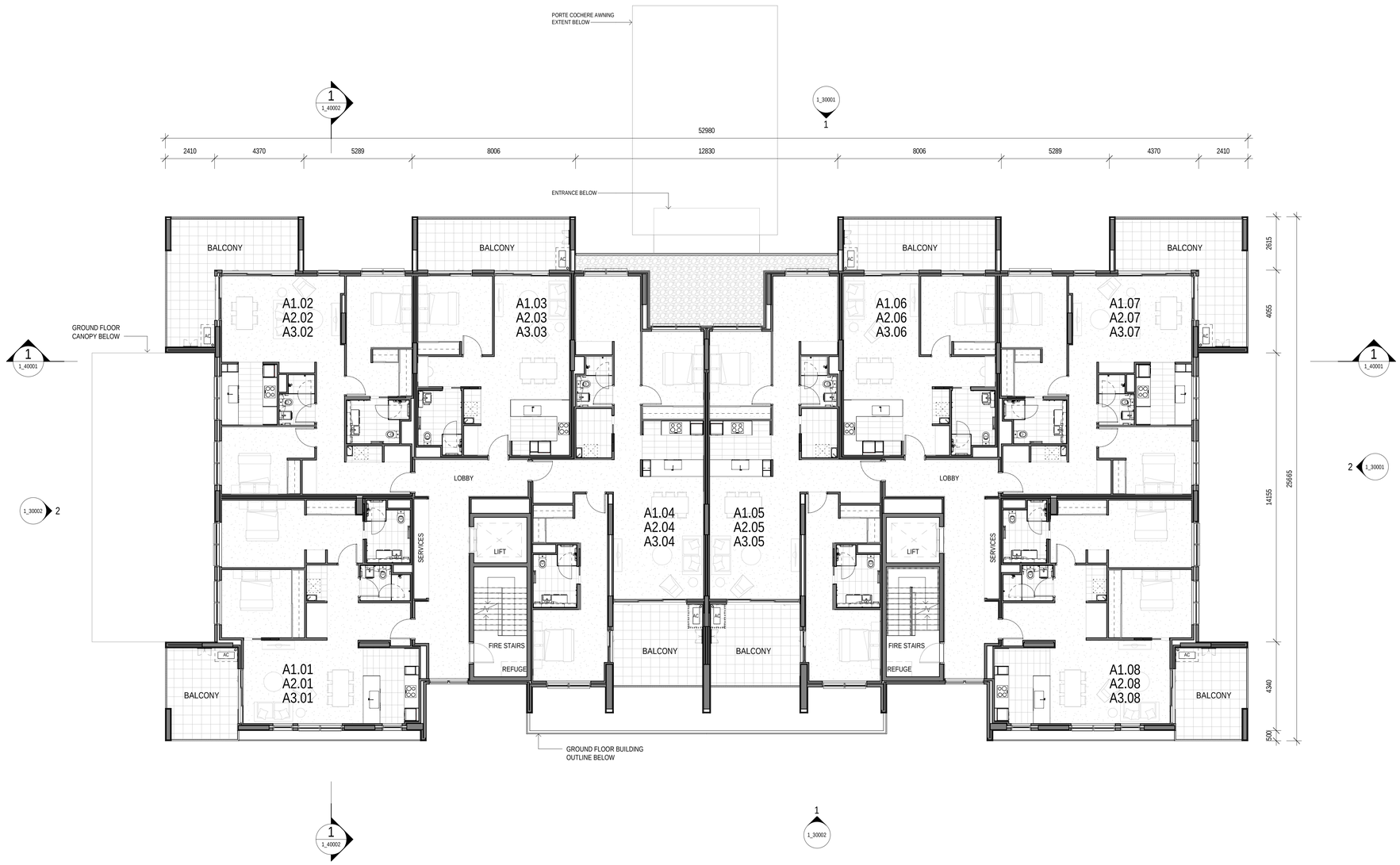
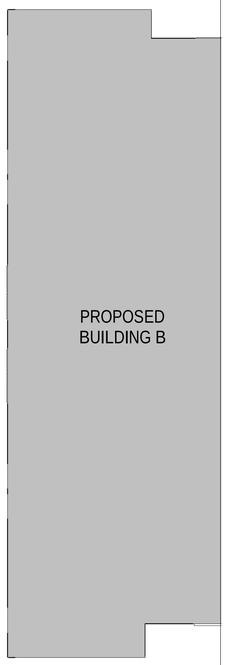
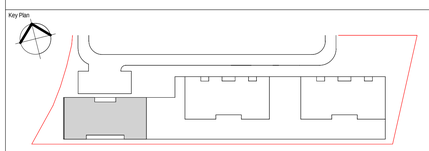




FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

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Stephanie Smith | NSW ARB 6280 **Barangaroo NSW 2000**

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NSW Australia 2095

CLIENT:
Lendlease Retirement Living
Jordan Springs Holding Pty Ltd
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING A
GENERAL ARRANGEMENT
LEVEL 01 - 03

Scale 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_1_20101	1

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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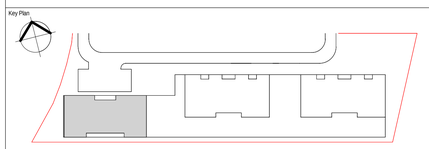
PROPOSED BUILDING B

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

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2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
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PLANNER:
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LANDSCAPE:
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PO BOX R1388, Royal Exchange NSW
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CLIENT:
Lendlease Retirement Living Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project: JORDAN SPRINGS

Client: LENDLEASE RETIREMENT LIVING

Title: BUILDING A GENERAL ARRANGEMENT LEVEL 04

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA
Project No.	Drawing No.		Revision
260436	DA_1_20401		2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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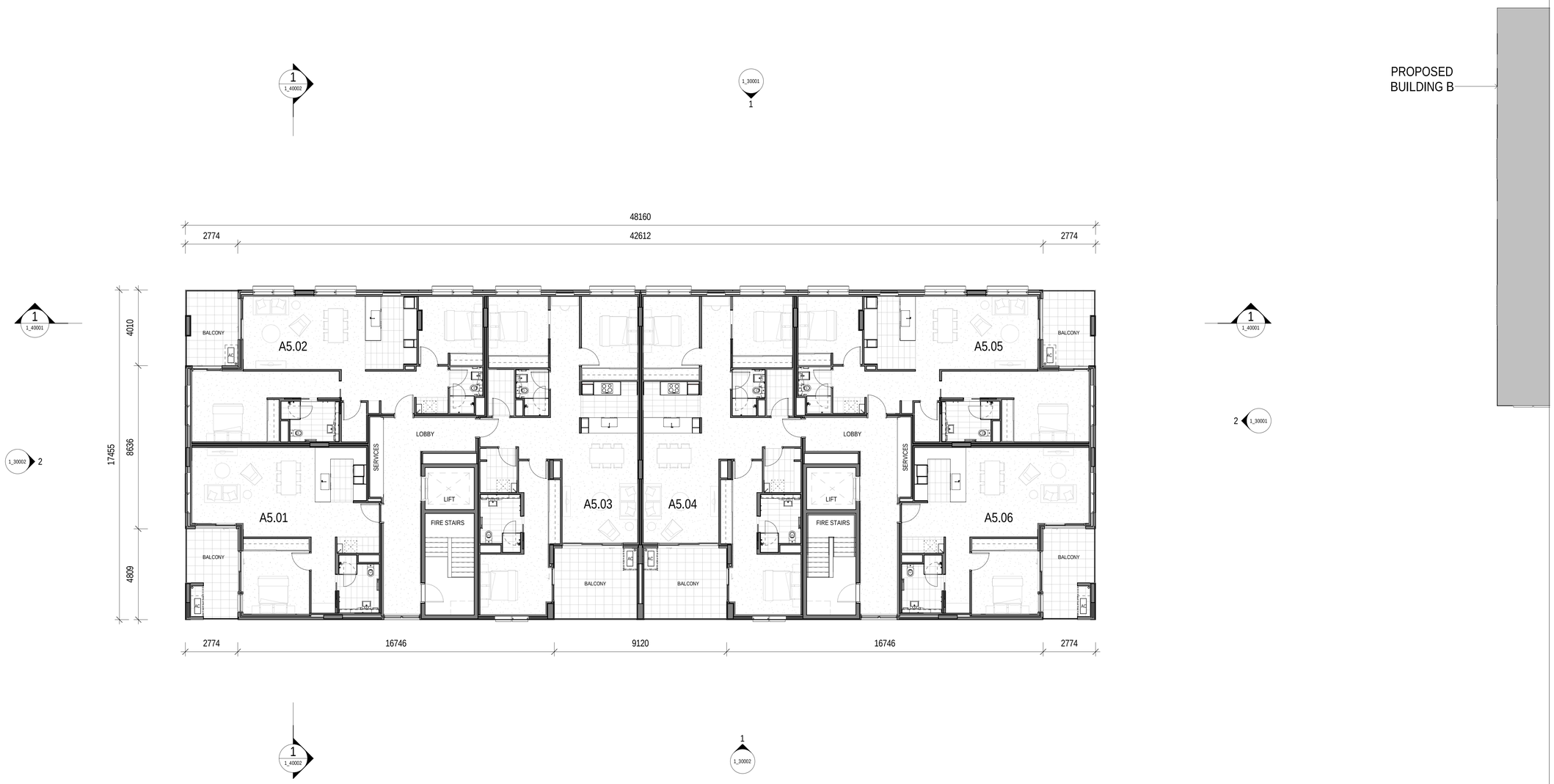
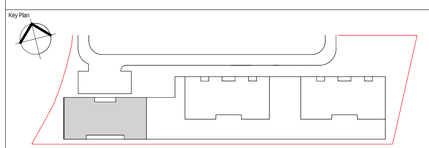


FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE RAIN WATER OUTLET (RWO) LOCATIONS SHOWN TO EXPOSED ROOF AREAS

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CIVIL:
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LANDSCAPE:
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NSW Australia 1225

CLIENT:
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Jordan Springs Holding Pty Ltd
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING A
GENERAL ARRANGEMENT
LEVEL 05

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	SS: Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_1_20501	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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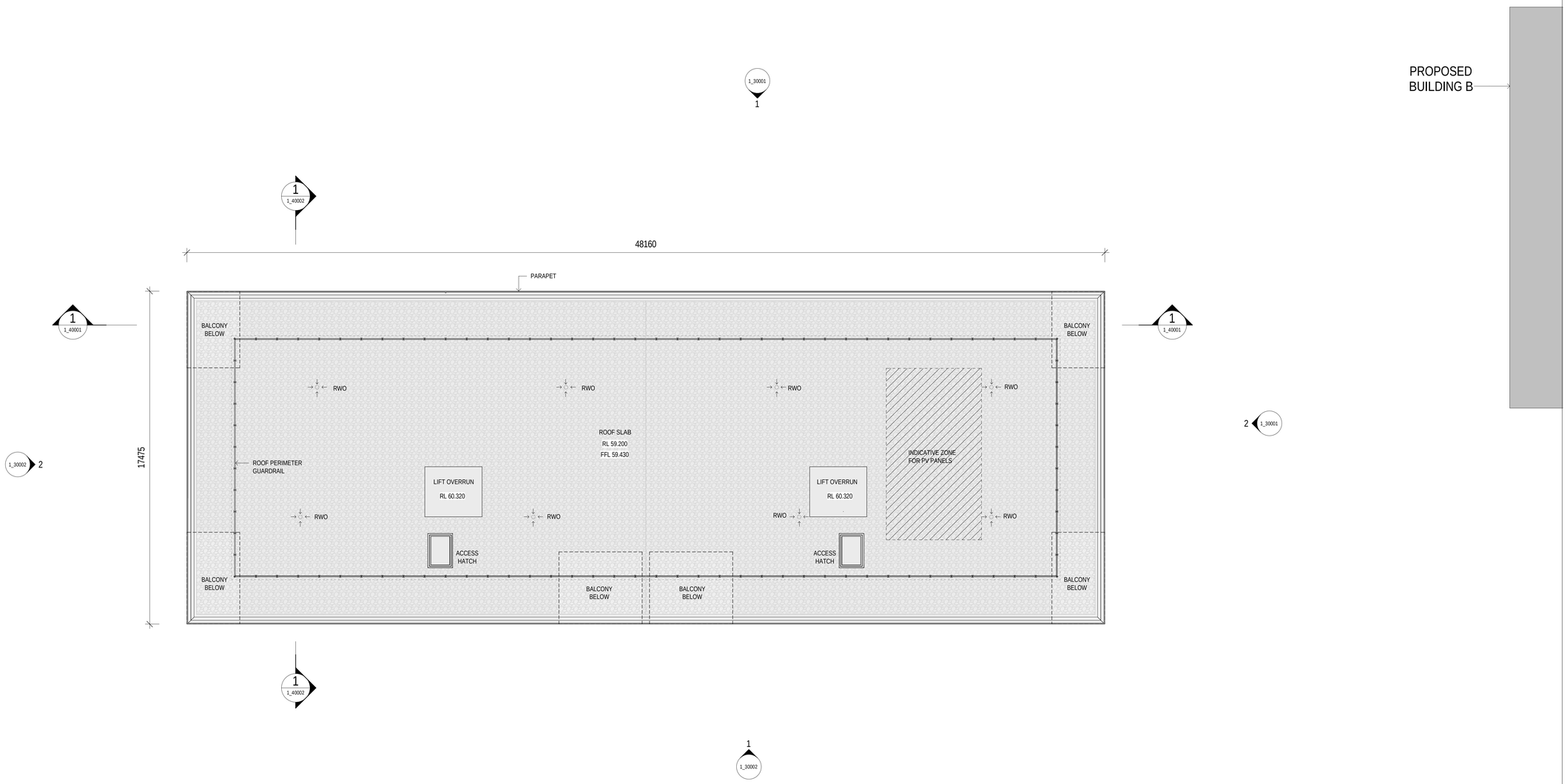
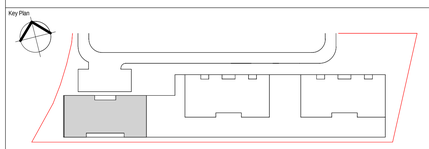


FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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Sydney Exchange Place, 300 Barangaroo
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING A
GENERAL ARRANGEMENT
ROOF

Scale	Drawn	Checked	Approved	Drawing Status
1 : 100 @ B1	LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

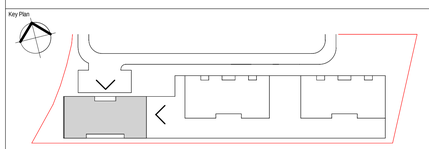
Project No.	Drawing No.	Revision
260436	DA_1_20601	2

1 NORTH ELEVATION
1 : 100

2 EAST ELEVATION
1 : 100

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION

F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BRICK	C01	PAINTED CONRETE FINISH. COLOUR TO MATCH G03
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'DARK GREY' TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01/ G02	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR	S02	DARK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'LIGHT BEIGE'	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04		

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NSW Australia 1225

CLIENT:
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Level 14, Tower Three, International Towers
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING A
ELEVATIONS
SHEET 1

Scale 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_1_30001	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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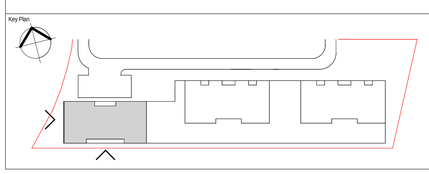
1 SOUTH ELEVATION
1 : 100

2 WEST ELEVATION
1 : 100

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION

F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BRICK	C01	PAINTED CONRETE FINISH. COLOUR TO MATCH G03
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'DARK GREY' TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01/ G02	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR	S02	DARK TIMBER LOOK BATTENS
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F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04		

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LANDSCAPE:
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CLIENT:
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING A
ELEVATIONS
SHEET 2

Scale
1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_1_30002	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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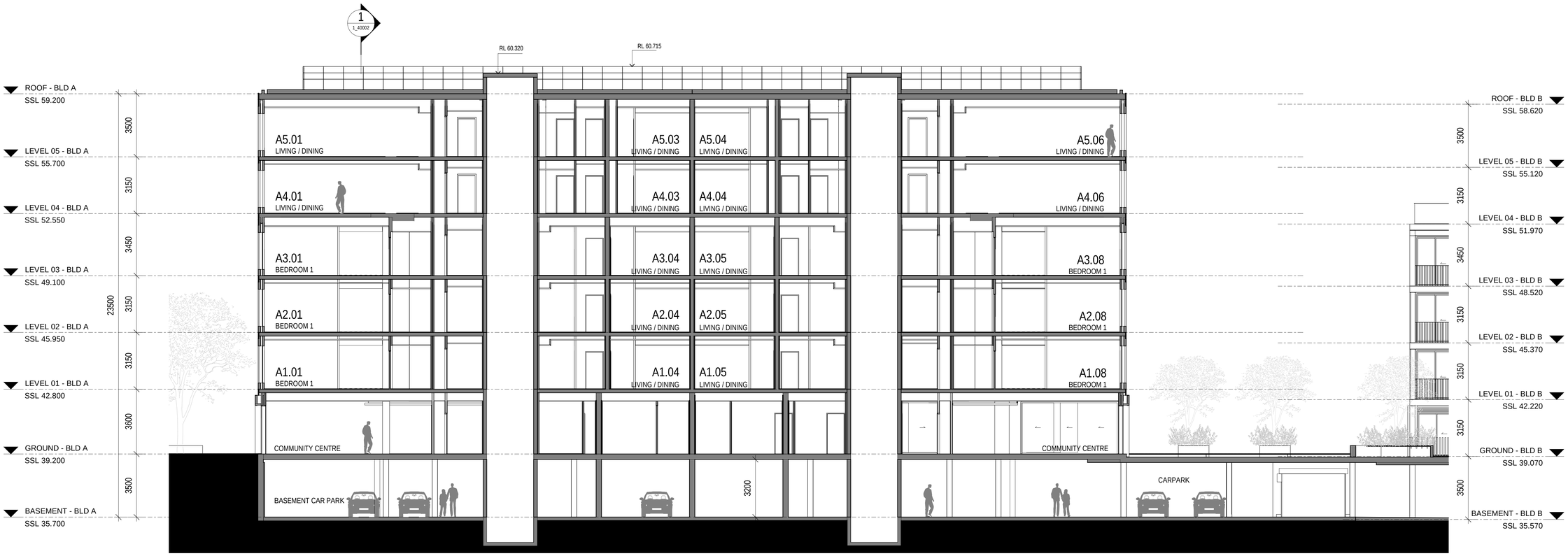
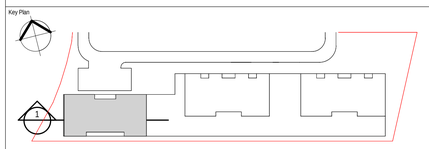


1 BUILDING A - SECTION 1
1 : 100

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

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Nominated Architect: **Exchange Place, 300 Barangaroo Avenue,**
Stephaine Smith | NSW ARB 6280 **Barangaroo NSW 2000**

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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING A
SECTIONS
SHEET 1

Scale
1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_1_40001	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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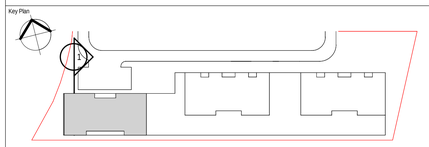
1 BUILDING A - SECTION 2
1 : 100

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	27/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

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Nominated Architect:
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Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING A
SECTIONS
SHEET 2

Scale
1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_1_40002	2

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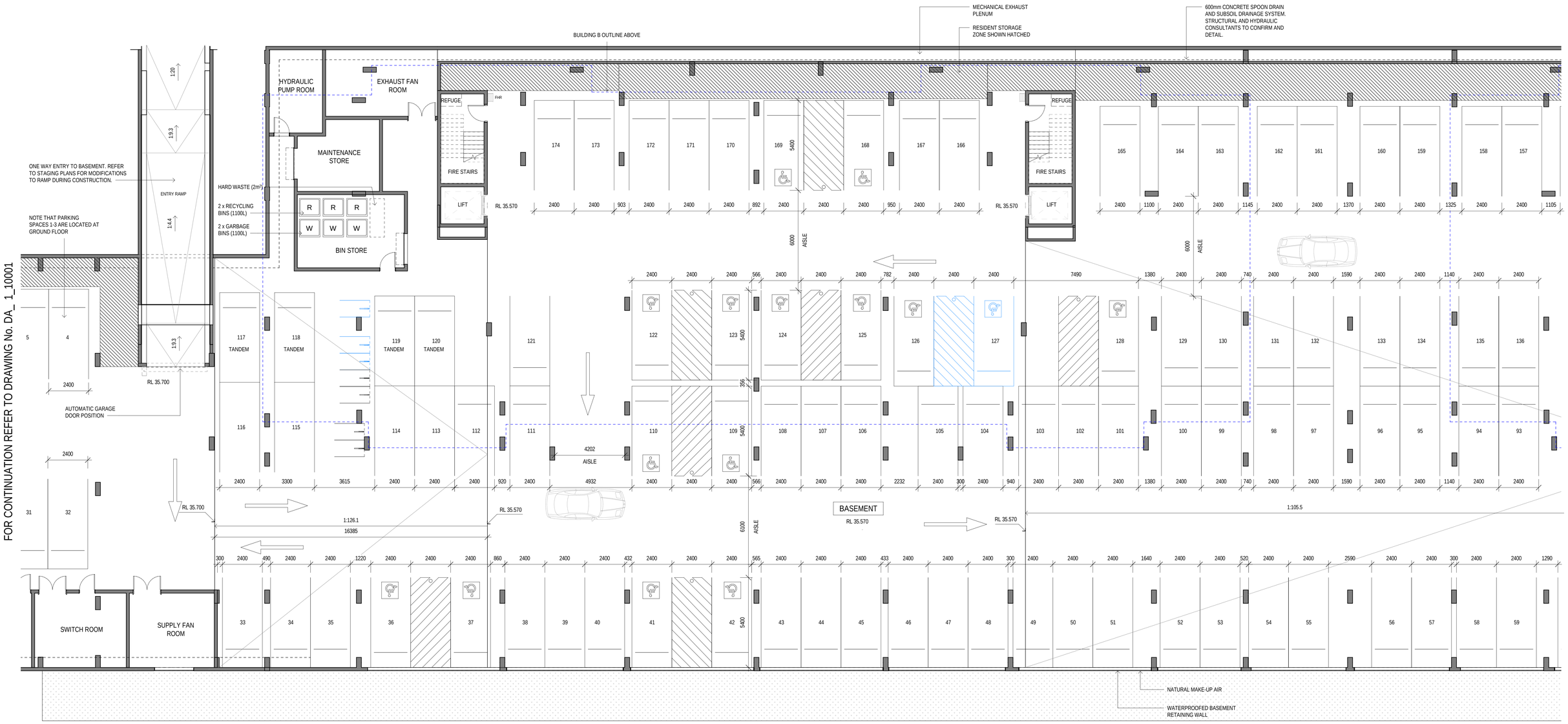
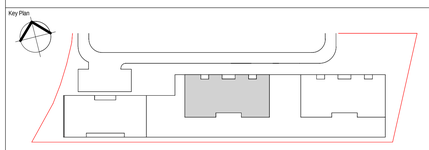


FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR SPACE
- VISITOR CAR SPACE
- SERVICE/STAFF CAR SPACE
- STAGING LINE
- OUTLINE OF BUILDING EXTENT ABOVE
- INDICATIVE ALLOCATION OF RESIDENT STORAGE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE LOCATION/DISTRIBUTION OF THE RESIDENT, VISITOR AND SERVICE/STAFF CAR PARK SPACES

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NSW Australia 1225

CLIENT:
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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING B
GENERAL ARRANGEMENT
BASEMENT

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_2_10001	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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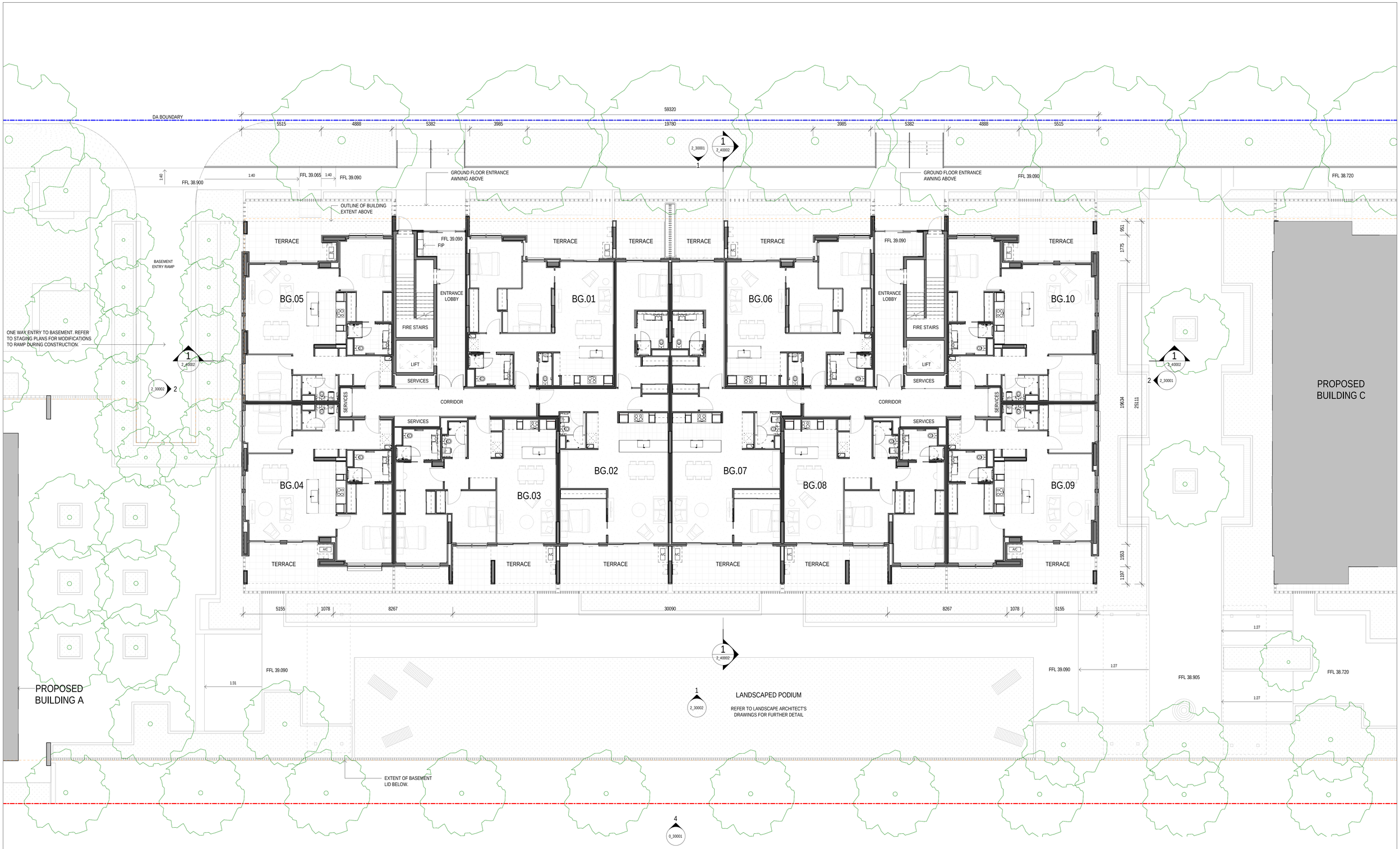

FOR DEVELOPMENT APPLICATION

Key Plan

Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE RAIN WATER OUTLET (RWO) LOCATIONS SHOWN TO EXPOSED ROOF AREAS

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Nominated Architect: Stephaine Smith | NSW ARB 6280

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CLIENT:
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Jordan Springs Holding Pty Ltd
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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING B
GENERAL ARRANGEMENT
GROUND FLOOR

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA
Project No.	Drawing No.		Revision
260436	DA_2_20001		2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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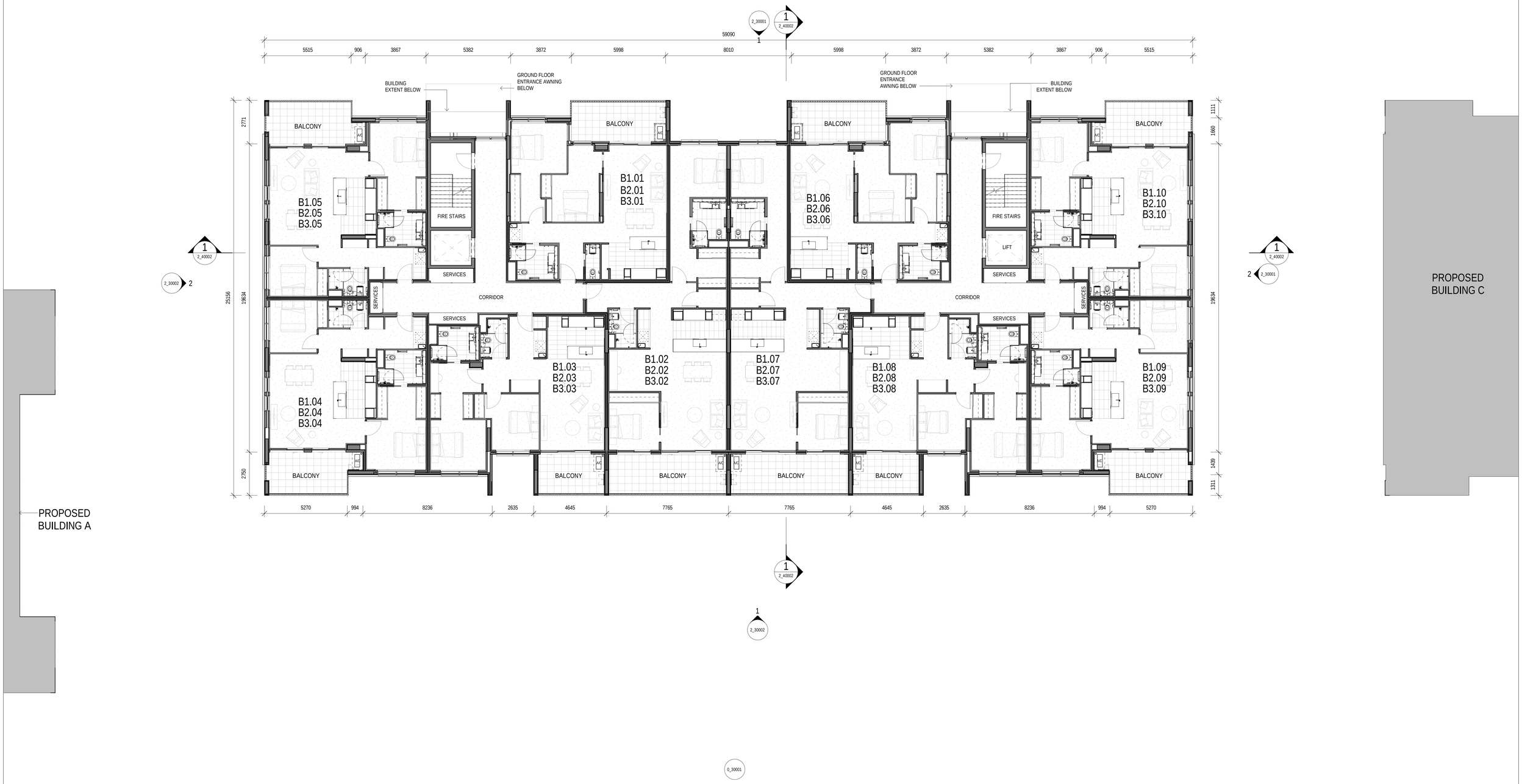
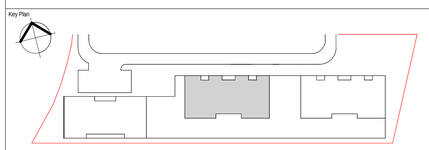


FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE RAIN WATER OUTLET (RWO) LOCATIONS SHOWN TO EXPOSED ROOF AREAS

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PRINCIPAL ARCHITECT
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ABN 51 632 932 391
Nominated Architect: Stephaine Smith | NSW ARB 6280
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CIVIL:
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LANDSCAPE:
Clouston Associates
PO BOX R1388, Royal Exchange NSW NSW Australia 1225

PLANNER:
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Suite 2, 1 Rialto Lane, Manly NSW Australia 2095

CLIENT:
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Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING B
GENERAL ARRANGEMENT
LEVEL 01 - 03

Scale 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_2_20101	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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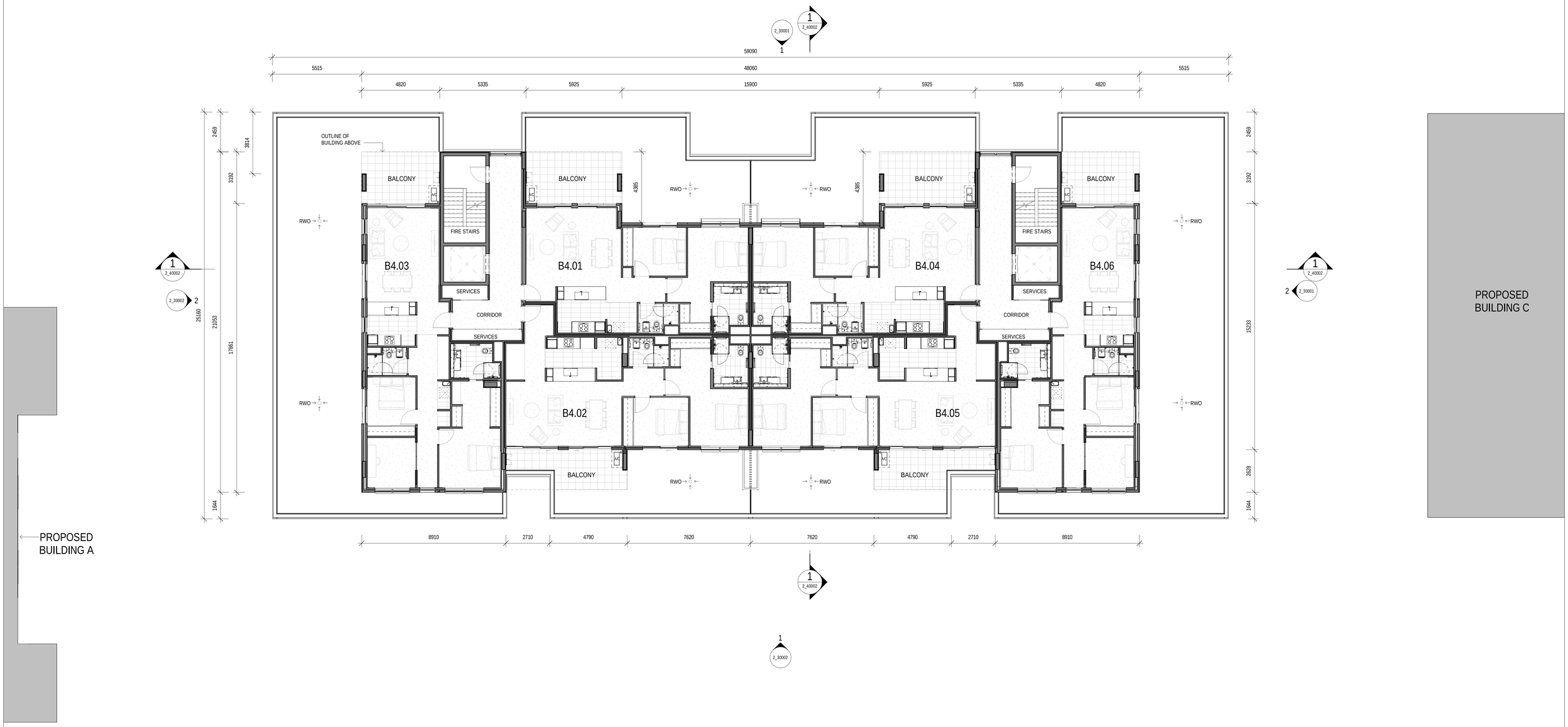
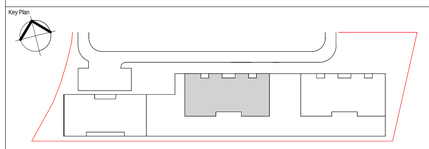


FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING B
GENERAL ARRANGEMENT
LEVEL 04

Scale 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_2_20401	2

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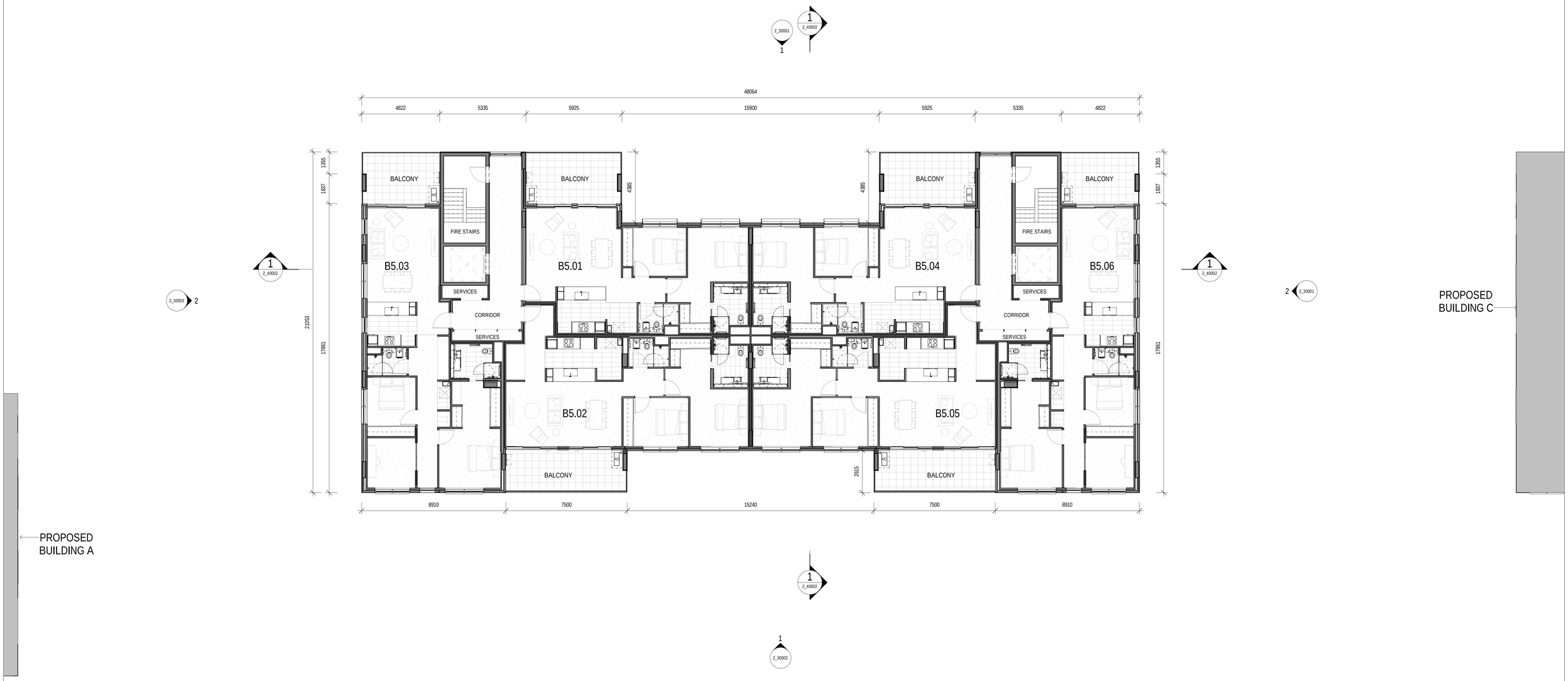

FOR DEVELOPMENT APPLICATION

Key Plan

Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
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NSW Australia 1225

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NSW Australia 2095

CLIENT:
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING B
GENERAL ARRANGEMENT
LEVEL 05

Scale 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	SB: Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_2_20501	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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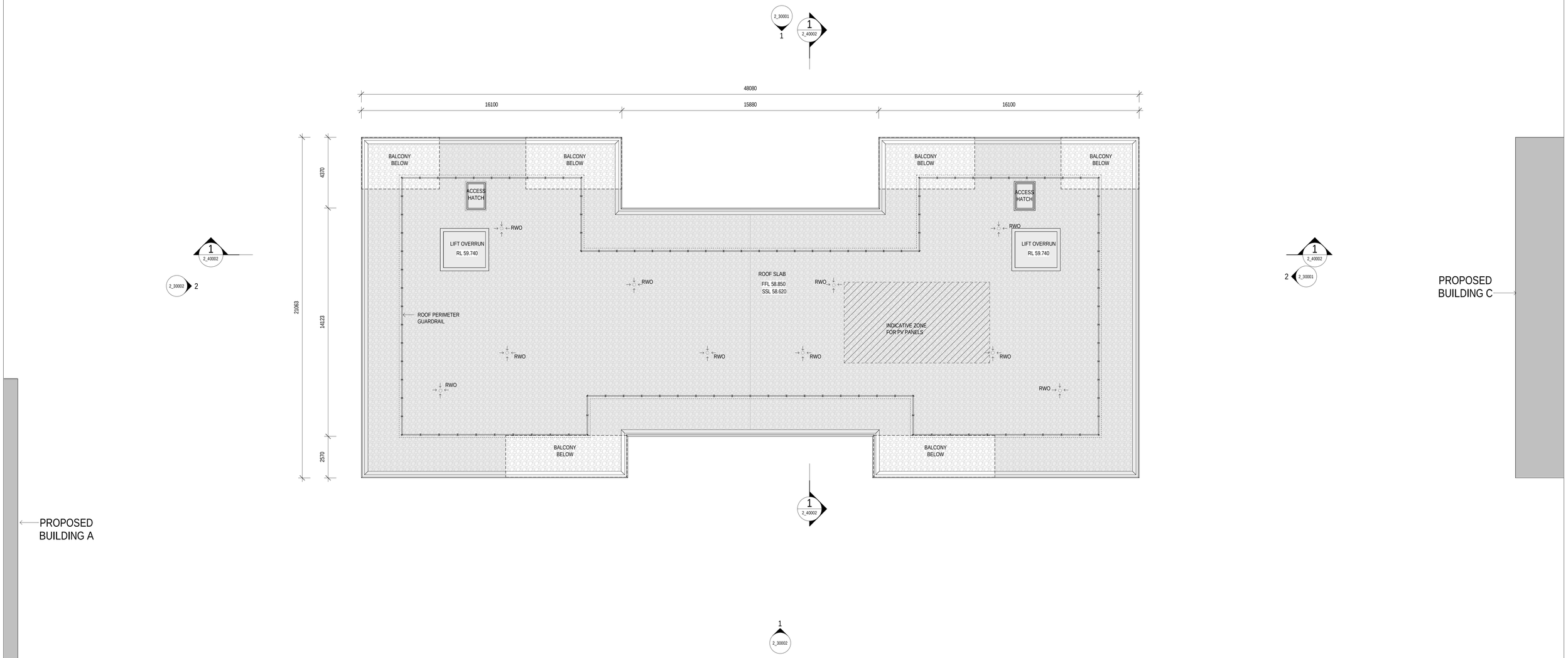
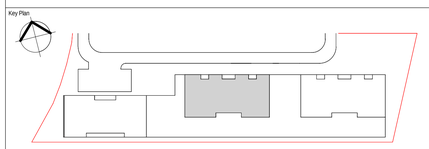


FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

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Sydney Exchange Place, 300 Barangaroo
Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING B
GENERAL ARRANGEMENT
ROOF

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA
Project No.	Drawing No.		Revision
260436	DA_2_20601		2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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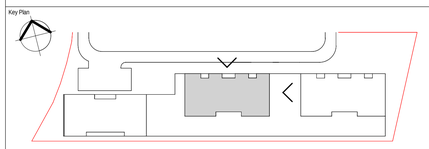
1 NORTH ELEVATION
1 : 100

2 EAST ELEVATION
1 : 100

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION

F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BRICK	C01	PAINTED CONRETE FINISH. COLOUR TO MATCH G03
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'DARK GREY' TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01/ G02	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR	S02	DARK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'LIGHT BEIGE'	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04		

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LANDSCAPE:
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NSW Australia 1225

CLIENT:
Lendlease Retirement Living
Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers
Sydney Exchange Place, 300 Barangaroo
Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING B
ELEVATIONS
SHEET 1

Scale
1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_2_30001	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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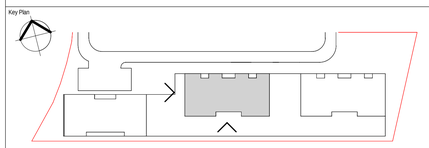
1 SOUTH ELEVATION
1 : 100

2 WEST ELEVATION
1 : 100

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
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1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION

F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BRICK	C01	PAINTED CONRETE FINISH. COLOUR TO MATCH G03
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'DARK GREY' TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
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F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'LIGHT BEIGE'	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04		

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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING B
ELEVATIONS
SHEET 2

Scale	Drawn	Checked	Approved	Drawing Status
1 : 100 @ B1	LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_2_30002	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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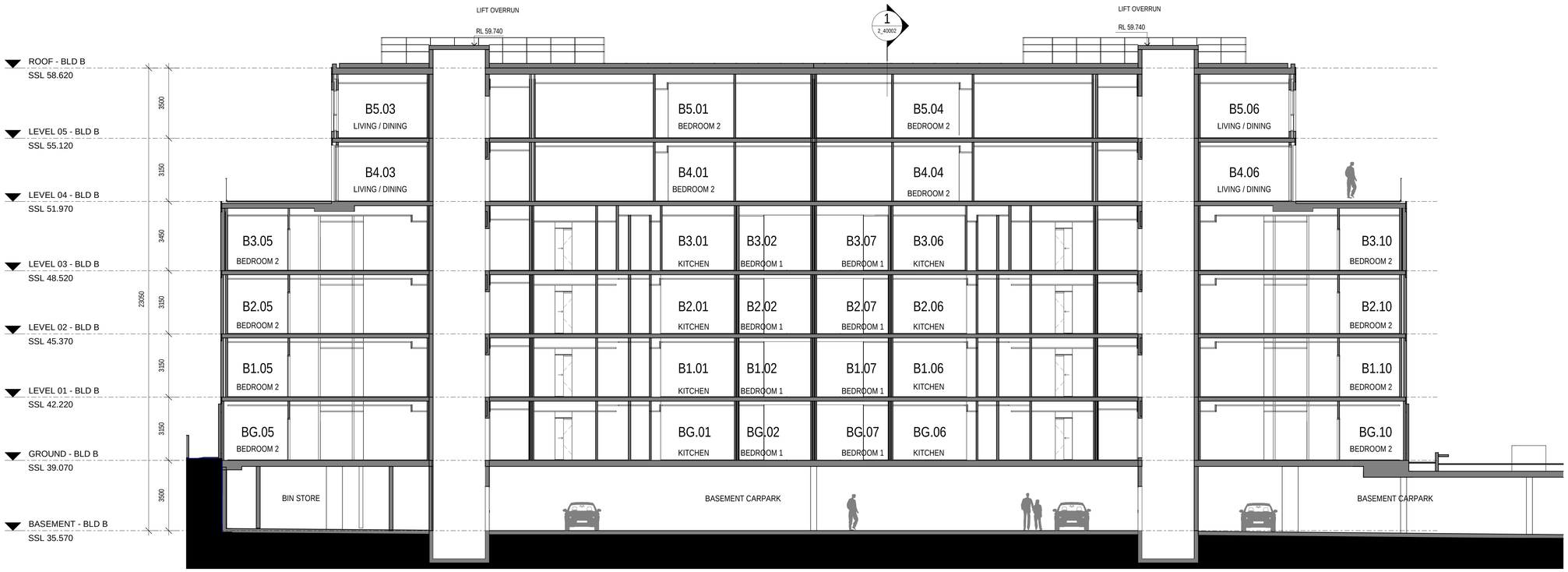
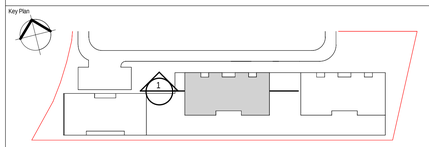


1 BUILDING B - SECTION 1
1 : 100

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
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Stephanie Smith | NSW ARB 6280 **Barangaroo NSW 2000**

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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING B
SECTIONS
SHEET 1

Scale
1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_2_40001	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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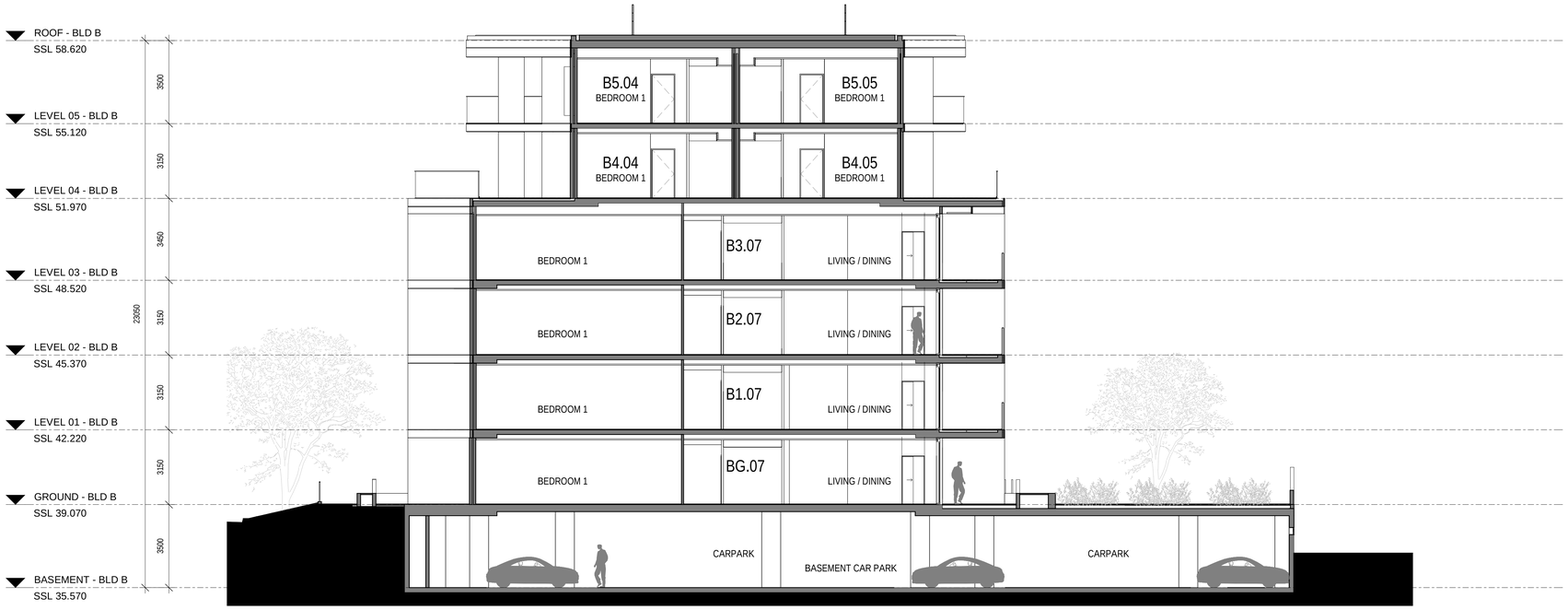
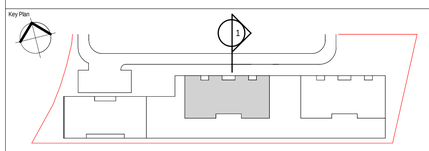


1 BUILDING B - SECTION 2
1 : 100

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING B
SECTIONS
SHEET 2

Scale
1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_2_40002	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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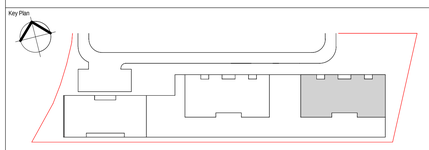
FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR SPACE
- VISITOR CAR SPACE
- SERVICE/STAFF CAR SPACE
- STAGING LINE
- OUTLINE OF BUILDING EXTENT ABOVE
- INDICATIVE ALLOCATION OF RESIDENT STORAGE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE LOCATION/DISTRIBUTION OF THE RESIDENT, VISITOR AND SERVICE/STAFF CAR PARK SPACES

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PRINCIPAL ARCHITECT
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Stephaine Smith | NSW ARB 6280 **Barangaroo NSW 2000**

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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING C
GENERAL ARRANGEMENT
BASEMENT

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_3_10001	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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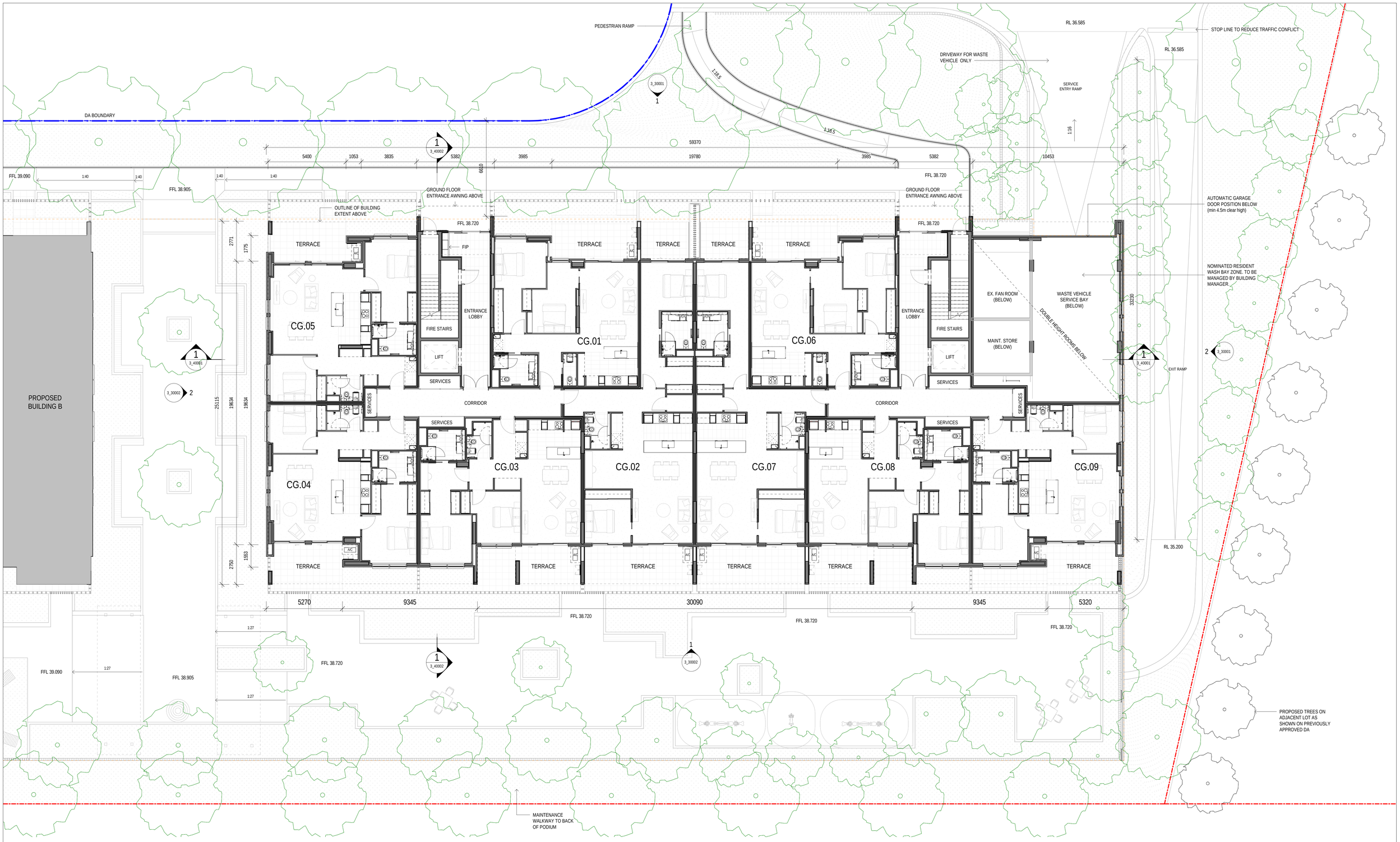

FOR DEVELOPMENT APPLICATION

Key Plan

Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT
3. INDICATIVE RAIN WATER OUTLET (RWO) LOCATIONS SHOWN TO EXPOSED ROOF AREAS

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PLANNER:
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CLIENT:
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Project: JORDAN SPRINGS

Client: LENDLEASE RETIREMENT LIVING

Title: BUILDING C GENERAL ARRANGEMENT GROUND FLOOR

Scale	Drawn	Checked	Approved	Drawing Status
1 : 100 @ B1	LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_3_20001	2

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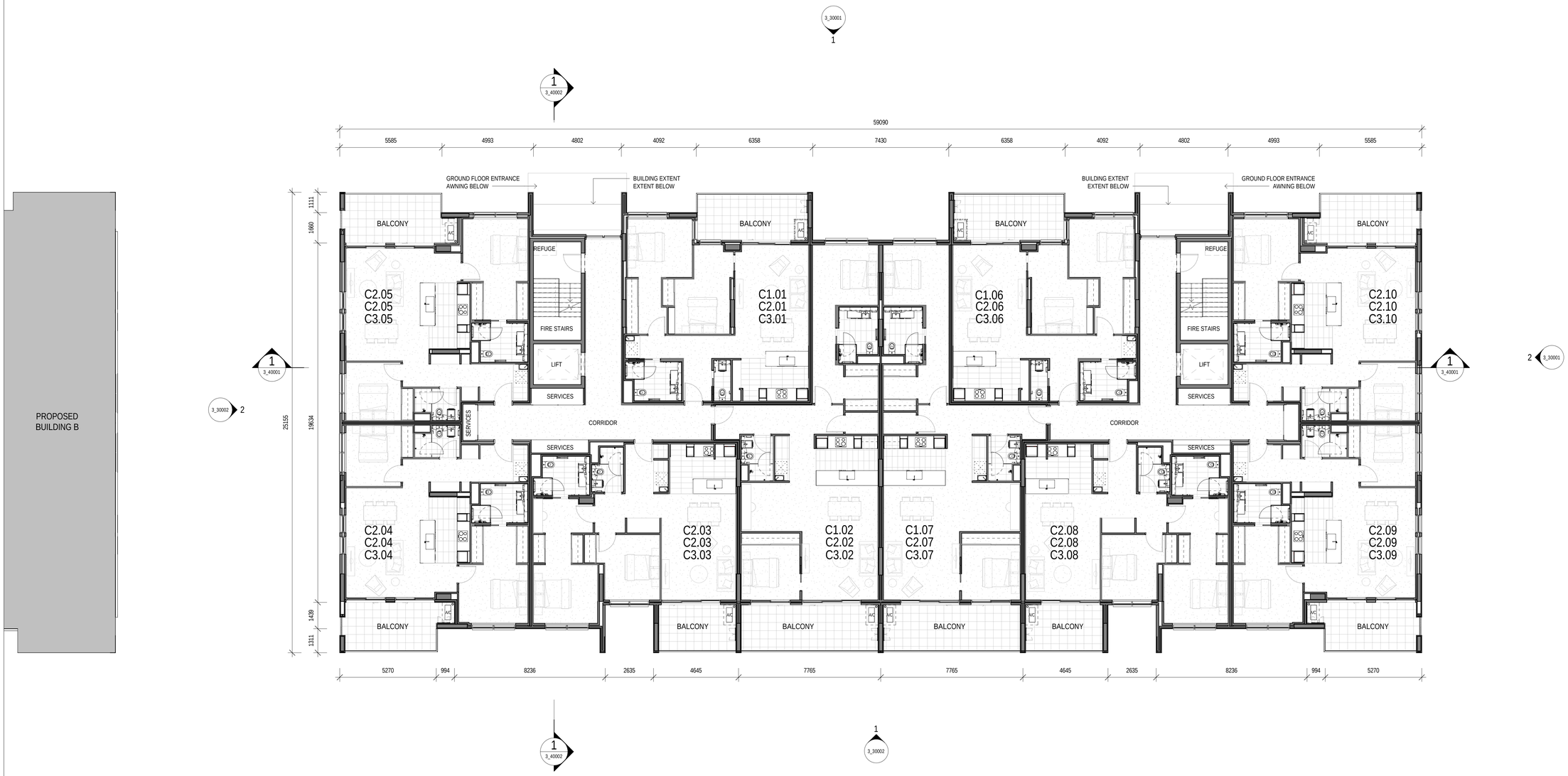
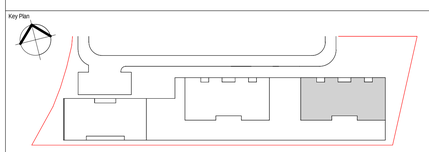


FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
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1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
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GENERAL NOTES:

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Stephaine Smith | NSW ARB 6280 **Barangaroo NSW 2000**

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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING C
GENERAL ARRANGEMENT
LEVEL 01 - 03

Scale 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_3_20101	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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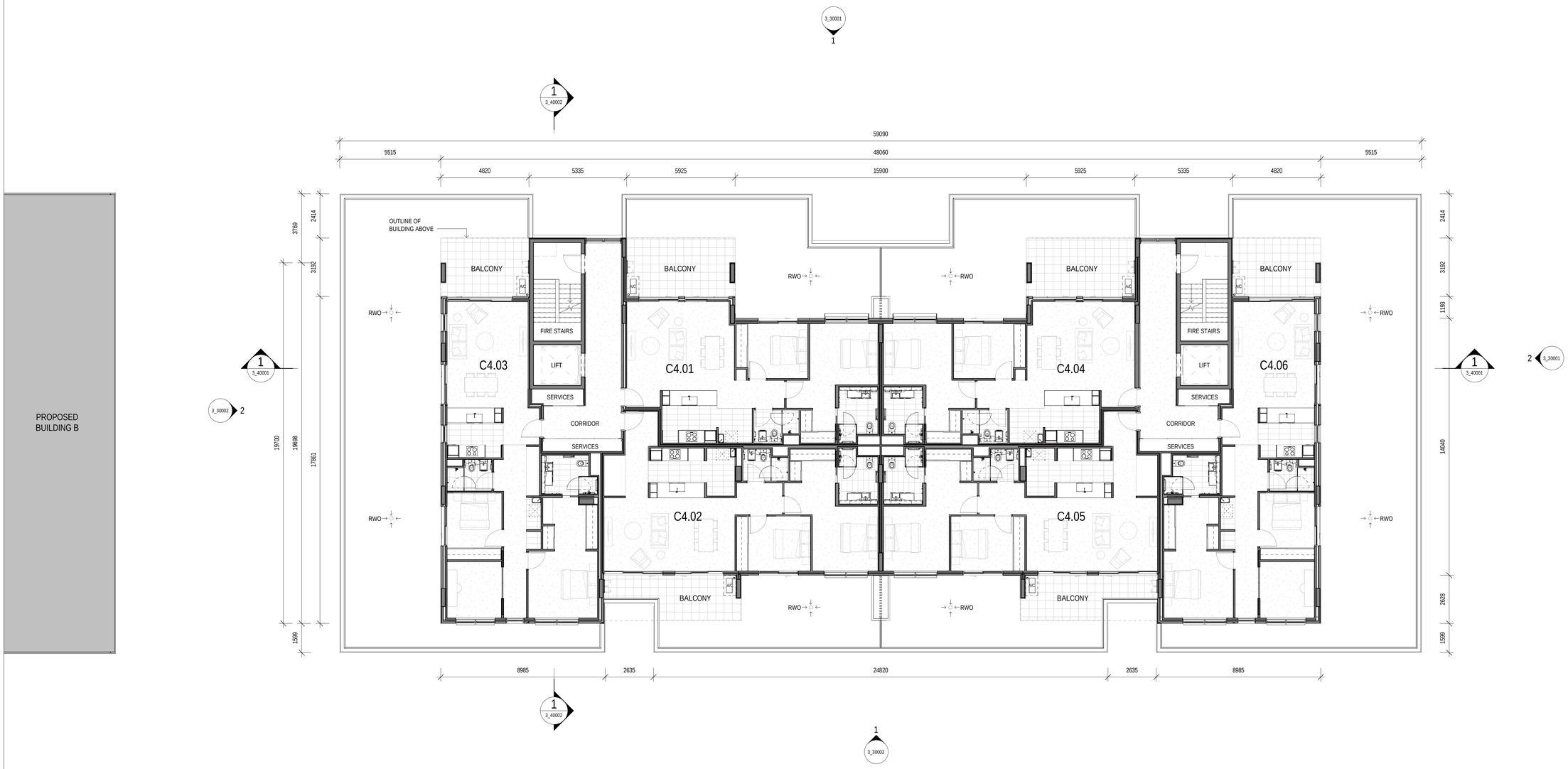
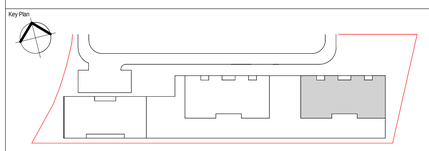


FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
- WALL MOUNTED CLOTHING LINE

GENERAL NOTES:

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NSW Australia 2259

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PO BOX R1388, Royal
Exchange NSW
NSW Australia 1225

CLIENT:
Lendlease Retirement Living
Jordan Springs Holding Pty Ltd
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING C
GENERAL ARRANGEMENT
LEVEL 04

Scale
1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_3_20401	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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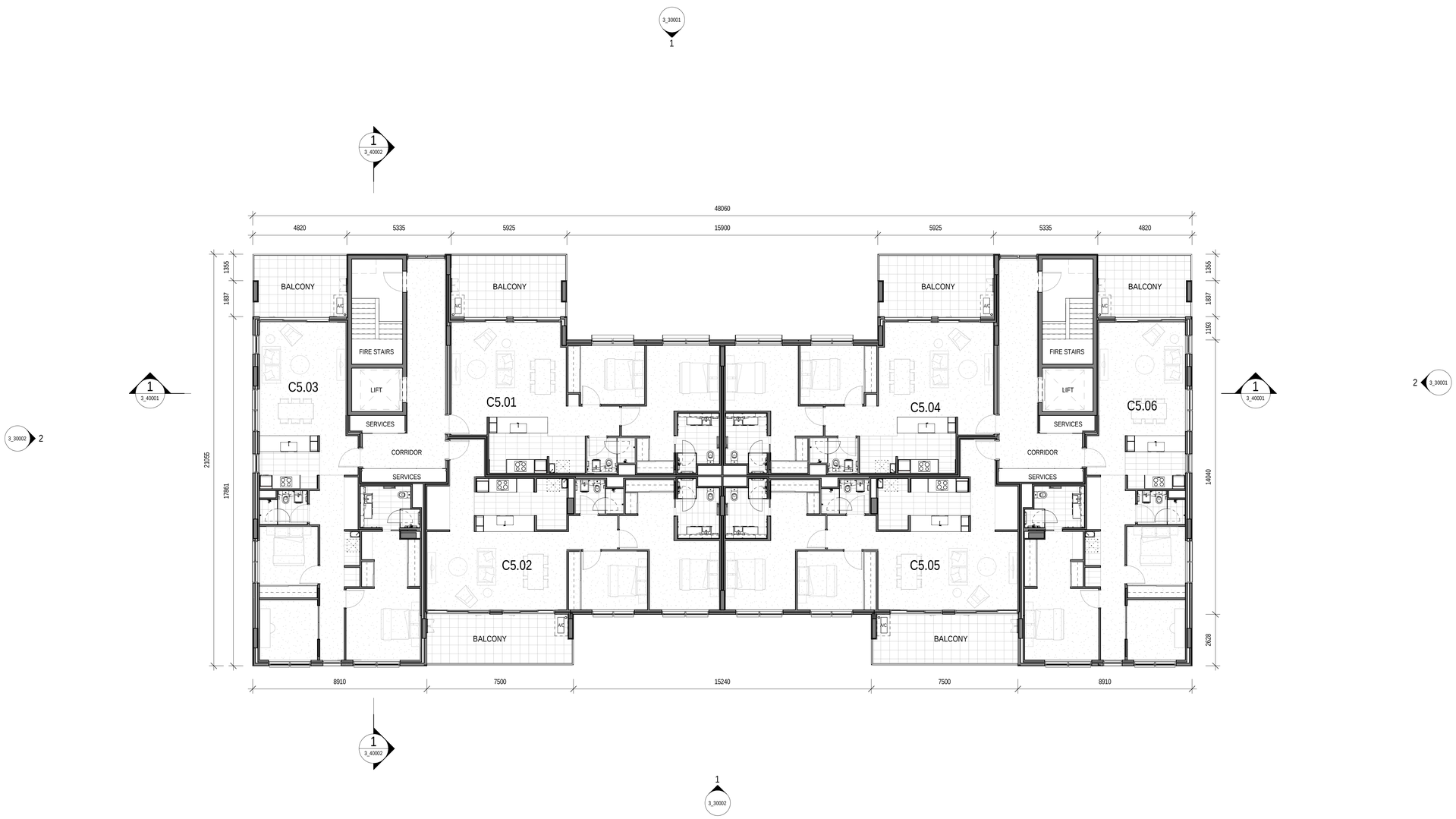
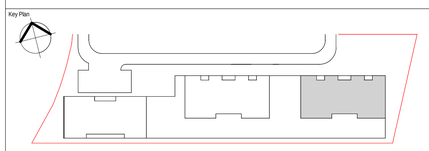


FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- RESIDENT CAR
- VISITOR CAR
- STAGING LINE
- EXTENT OF BASEMENT LID BELOW
- SITE BOUNDARY
- DA BOUNDARY
- PROPOSED TREE
- A/C — A/C CONDENSER UNIT
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GENERAL NOTES:

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CLIENT:
Lendlease Retirement Living Jordan Springs Holding Pty Ltd
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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING C
GENERAL ARRANGEMENT
LEVEL 05

Scale 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_3_20501	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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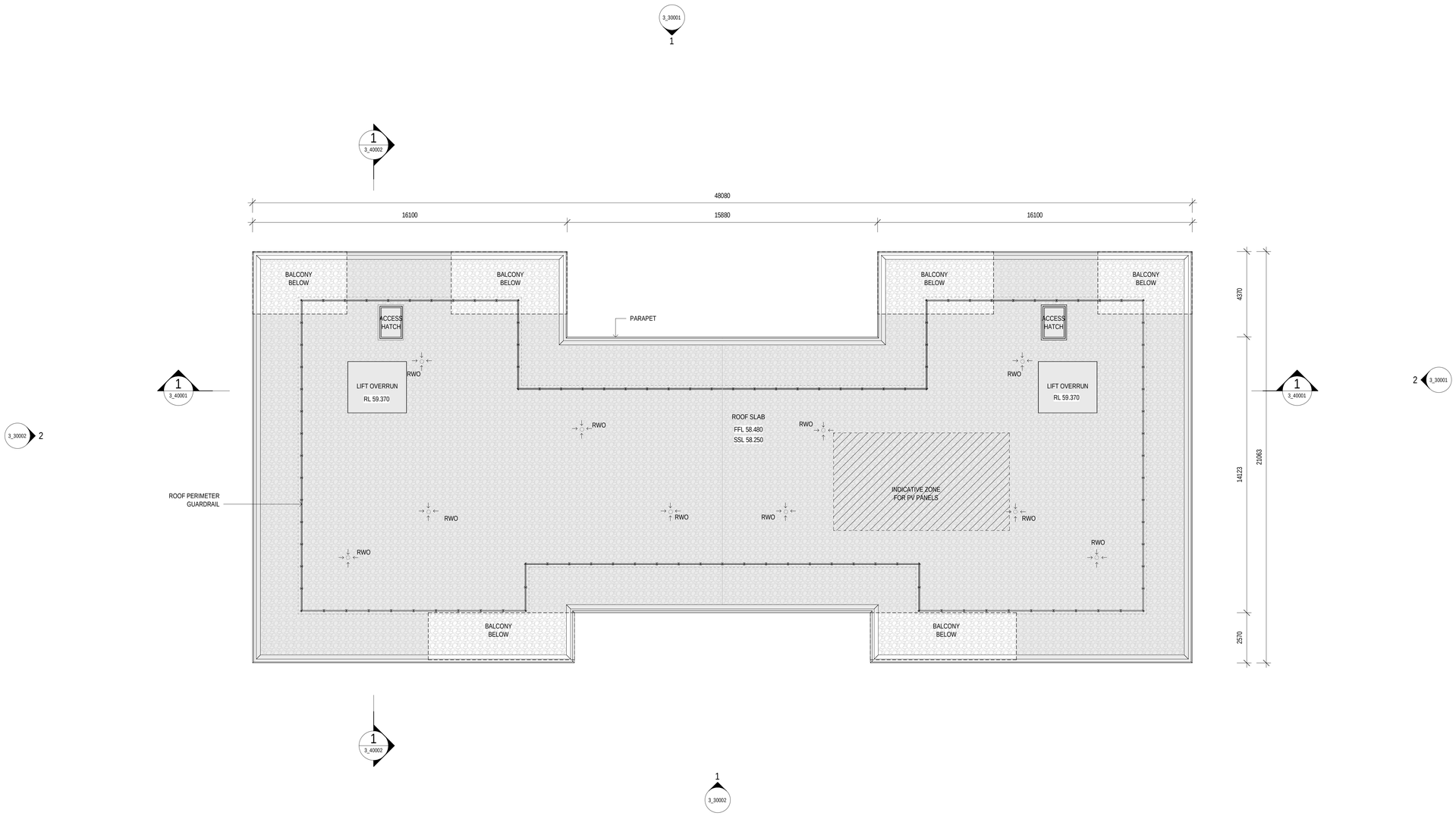
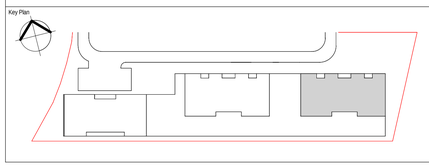


FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
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1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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Jordan Springs Holding Pty Ltd
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LANDSCAPE:
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Exchange NSW
NSW Australia 1225

Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING C
GENERAL ARRANGEMENT
ROOF

Scale
1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

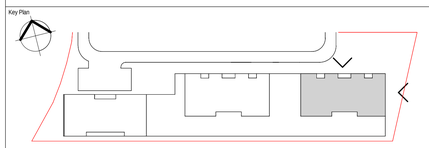
Project No.	Drawing No.	Revision
260436	DA_3_20601	2

1 NORTH ELEVATION
1 : 100

2 EAST ELEVATION
1 : 100

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION

F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BRICK	C01	PAINTED CONRETE FINISH. COLOUR TO MATCH G03
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'DARK GREY' TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01/ G02	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR	S02	DARK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'LIGHT BEIGE'	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04		

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PO BOX R1388, Royal
Exchange NSW
NSW Australia 1225

CLIENT:
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Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers
Sydney Exchange Place, 300 Barangaroo
Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING C
ELEVATIONS
SHEET 1

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA
Project No.	Drawing No.		Revision
260436	DA_3_30001		2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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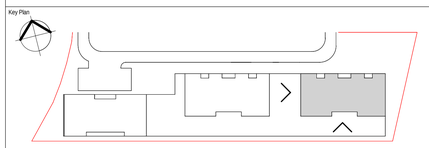
1 SOUTH ELEVATION
1 : 100

2 WEST ELEVATION
1 : 100

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
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FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION

F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BRICK	C01	PAINTED CONRETE FINISH. COLOUR TO MATCH G03
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'DARK GREY' TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01/ G02	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR	S02	DARK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'LIGHT BEIGE'	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04		

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NSW Australia 2095

CLIENT:
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Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING C
ELEVATIONS
SHEET 2

Scale 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_3_30002	2

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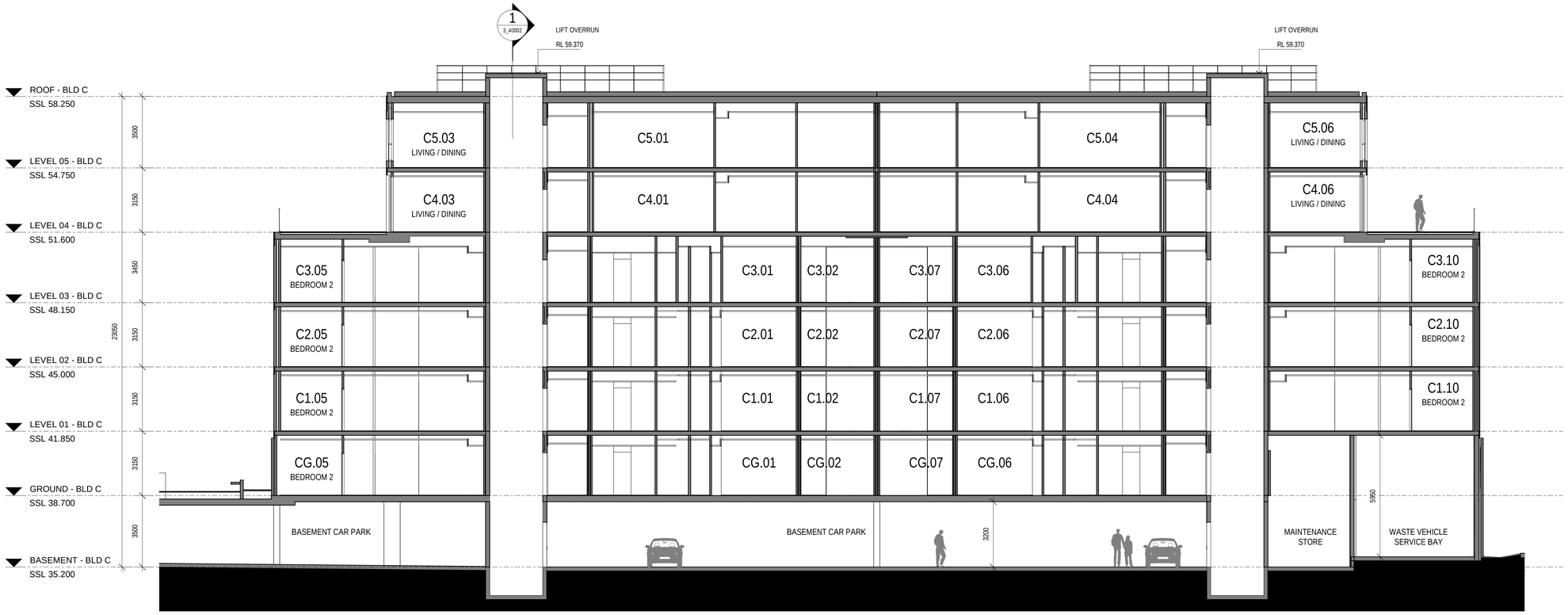
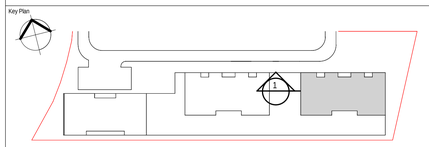


1 BUILDING C - SECTION 1
1 : 100

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
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Nominated Architect: **Exchange Place, 300 Barangaroo Avenue,**
Stephanie Smith | NSW ARB 6280 **Barangaroo NSW 2000**

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Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING C
SECTIONS
SHEET 1

Scale
1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_3_40001	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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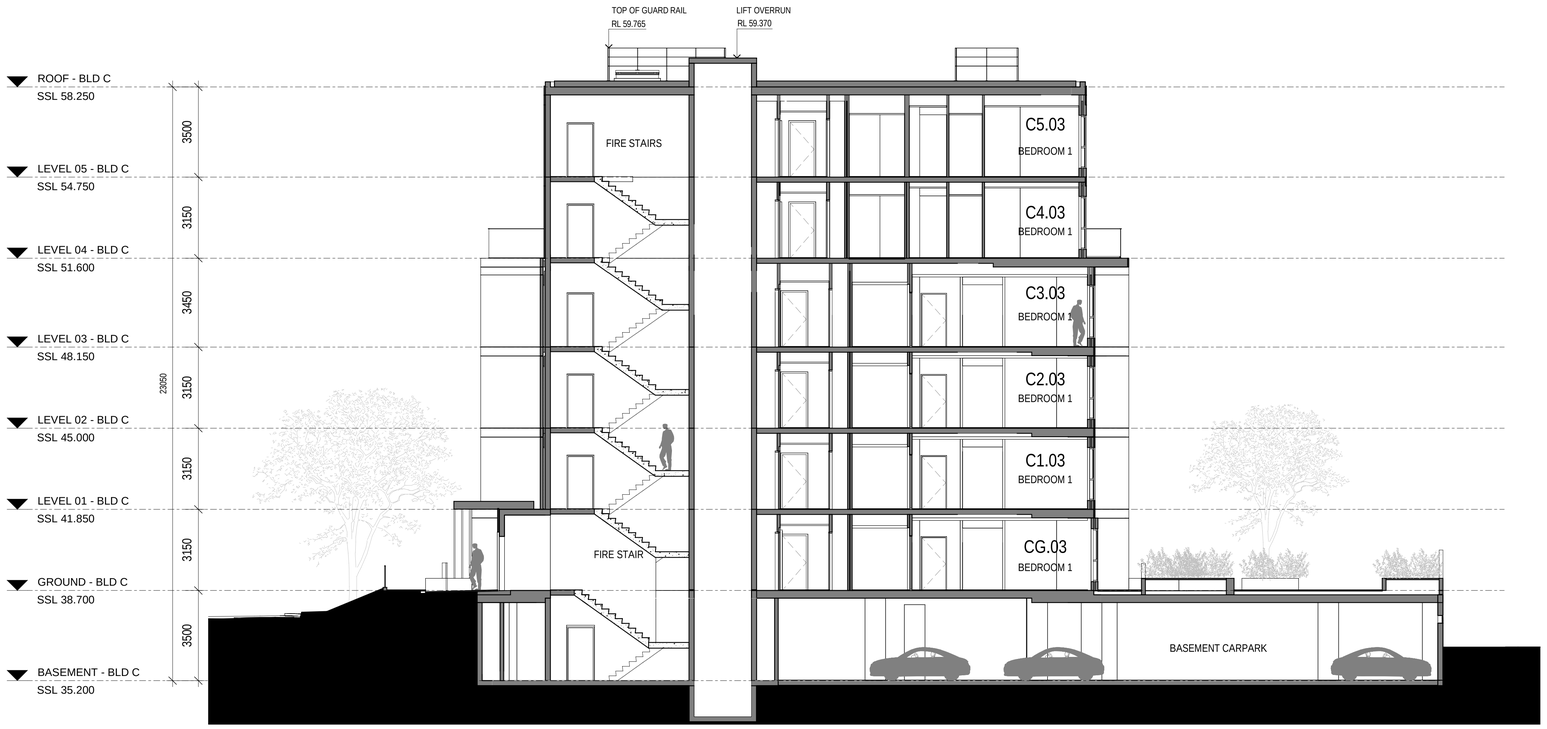
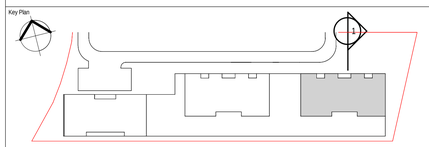


1 BUILDING C - SECTION 2
1 : 100

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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PRINCIPAL ARCHITECT
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Nominated Architect: **Exchange Place, 300 Barangaroo Avenue,**
Stephaine Smith | NSW ARB 6280 **Barangaroo NSW 2000**

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NSW Australia 1225

PLANNER:
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Manly
NSW Australia 2095

CLIENT:
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Project
JORDAN SPRINGS

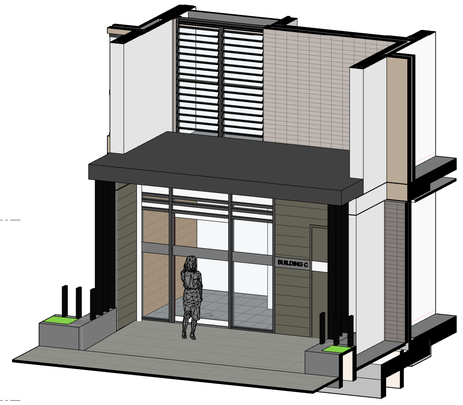
Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING C
SECTIONS
SHEET 2

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_3_40002	2

1 BUILDING ELEVATION
1 : 50



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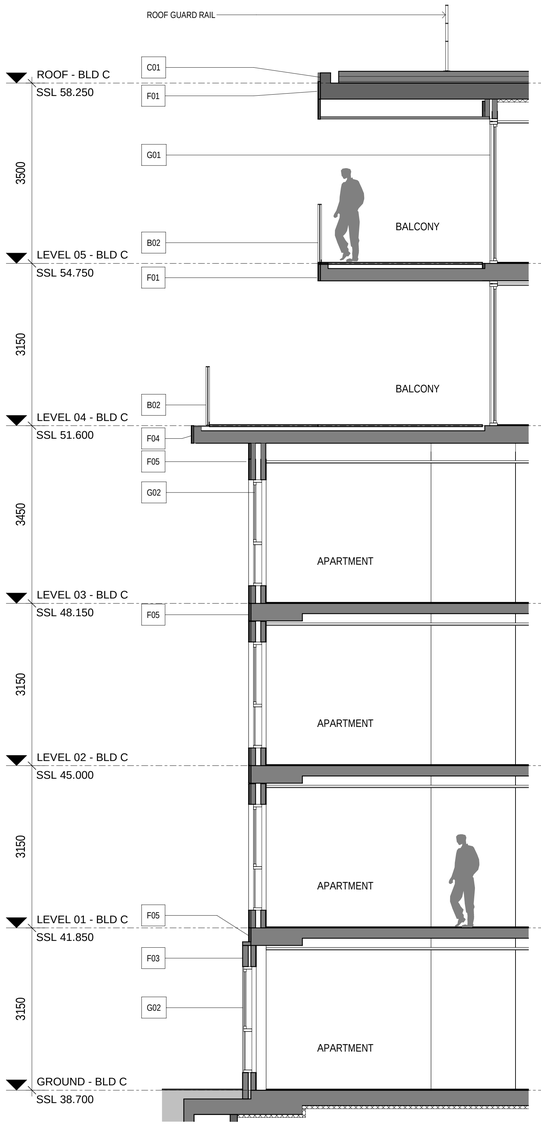
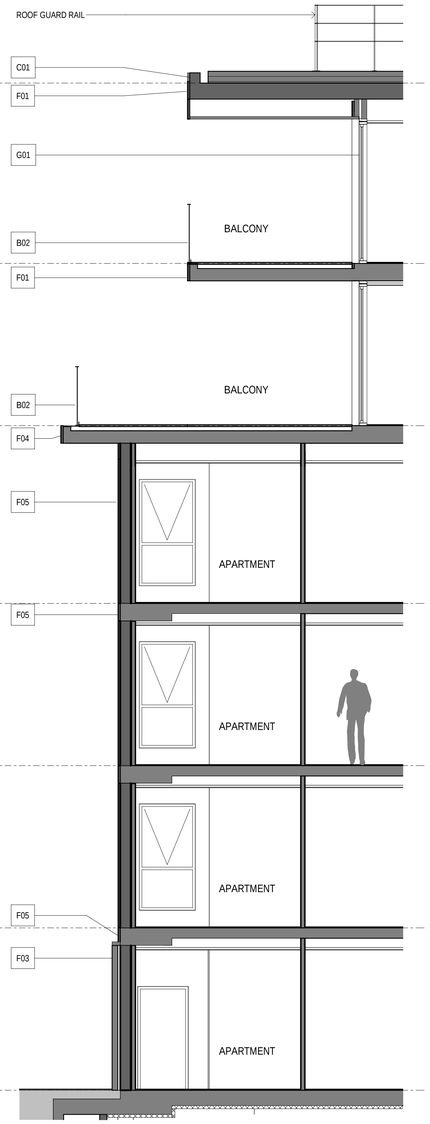


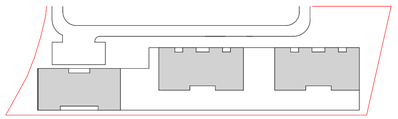
2 FACADE SECTION 1 - WINDOW
1 : 50



3 FACADE SECTION 2 - WALL
1 : 50

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION

F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BRICK	C01	PAINTED CONRETE FINISH. COLOUR TO MATCH G03
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'DARK GREY' TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01/ G02	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR	S02	DARK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'LIGHT BEIGE'	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04		

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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
FAÇADE
TYPICAL SECTIONS
SHEET 1

Scale	Drawn	Checked	Approved	Drawing Status
1 : 50 @ B1	LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_63000	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

If this drawing is printed or plotted at a size other than B1 - DO NOT SCALE DIMENSIONS FROM DRAWING
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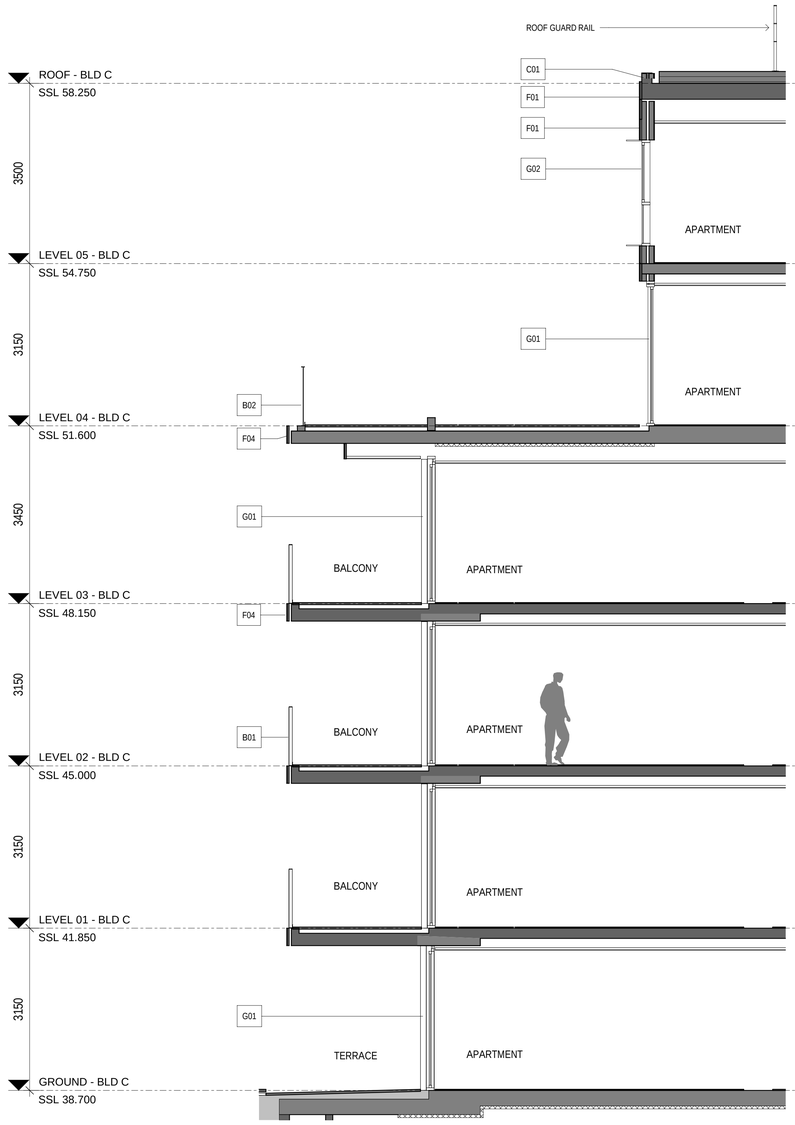
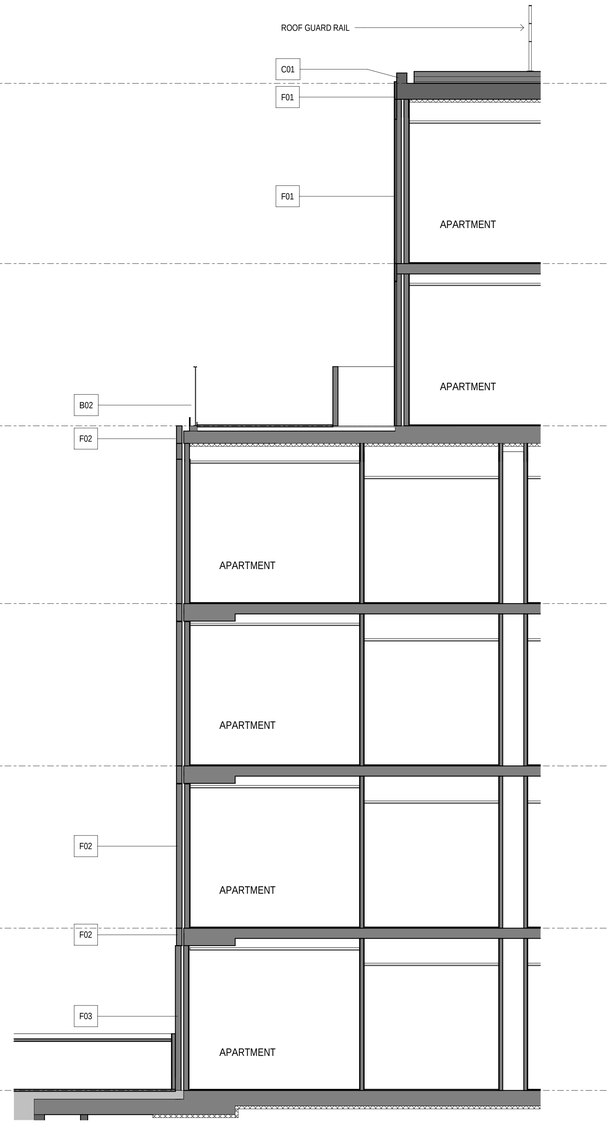
1 BUILDING ELEVATION
1 : 50



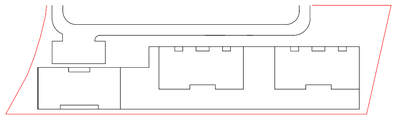
2 FACADE SECTION 3 - DOOR
1 : 50



3 FACADE SECTION 4 - WALL
1 : 50

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION

F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BRICK	C01	PAINTED CONRETE FINISH. COLOUR TO MATCH G03
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'DARK GREY' TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01/ G02	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR	S02	DARK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'LIGHT BEIGE'	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04		

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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
FACADE
TYPICAL SECTIONS
SHEET 2

Scale 1 : 50 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Checker Baptiste	Approver Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_63001	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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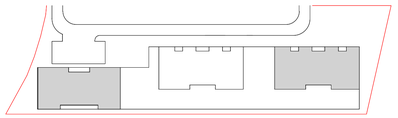
FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION

F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BRICK	C01	PAINTED CONRETE FINISH. COLOUR TO MATCH G03
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'DARK GREY' TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01/ G02	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR	S02	DARK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'LIGHT BEIGE'	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04		

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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING A AND C FAÇADE MATERIALS

Scale	Drawn	Checked	Approved	Drawing Status
1 : 50 @ B1	LLIS	Checker Baptiste	Approver Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_63003	1

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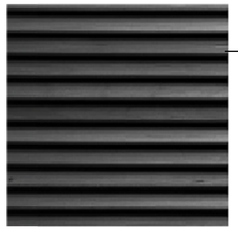


L01 MAKEUP LOUVRES - POWDERCOAT TO MATCH G03

F09
PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - DARK GREY TO MATCH G03

F06 PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - EXPRESSED DARK TIMBER LOOK

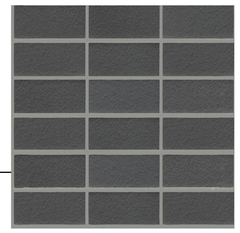
C01 CONCRETE HOB PAINT FINISH - 'TO MATCH G03'

B01 BALUSTRADE POWDERCOAT STEEL TO MATCH F04

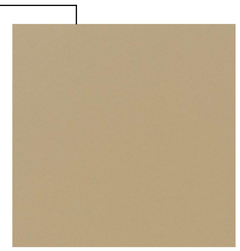
F07 LIGHT GREY BRICK

B02 GLAZED BALUSTRADE 'CLEAR'

G01 GLAZED SLIDING DOOR 'CLEAR'



F08 DARK BRICK



F05 PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - SMOOTH LIGHT BEIGE

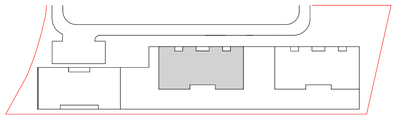
G02 GLAZED WINDOW 'CLEAR'

F04 PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - SMOOTH WHITE

G03 ALUMINIUM POWDERCOATED GLAZING FRAMES 'DARK GREY'

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION

F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
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F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'DARK GREY' TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
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F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04		

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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING B FAÇADE MATERIALS

Scale 1 : 50 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Checker Baptiste	Approver Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_63004	2

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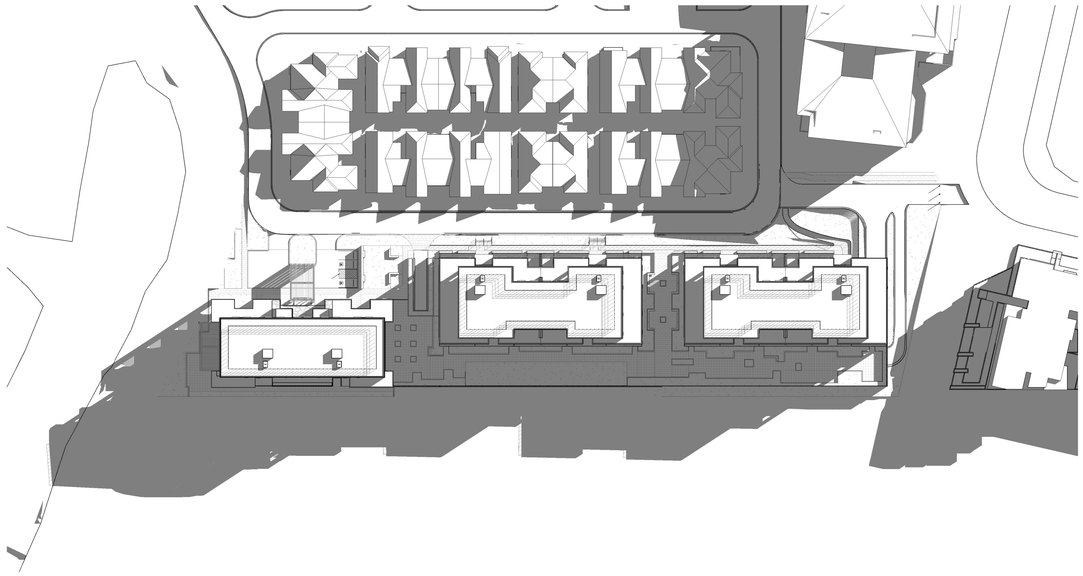
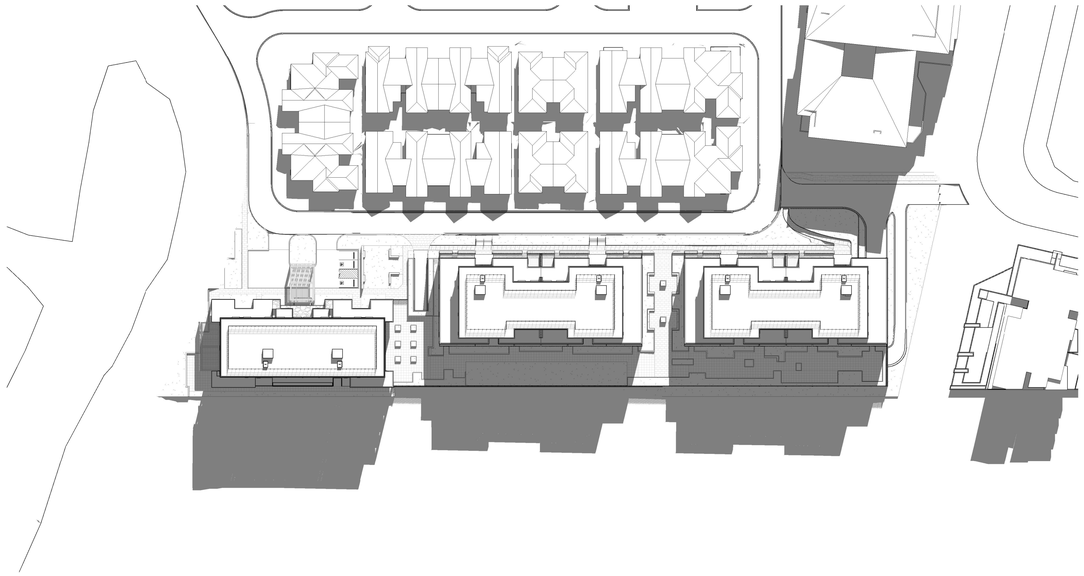
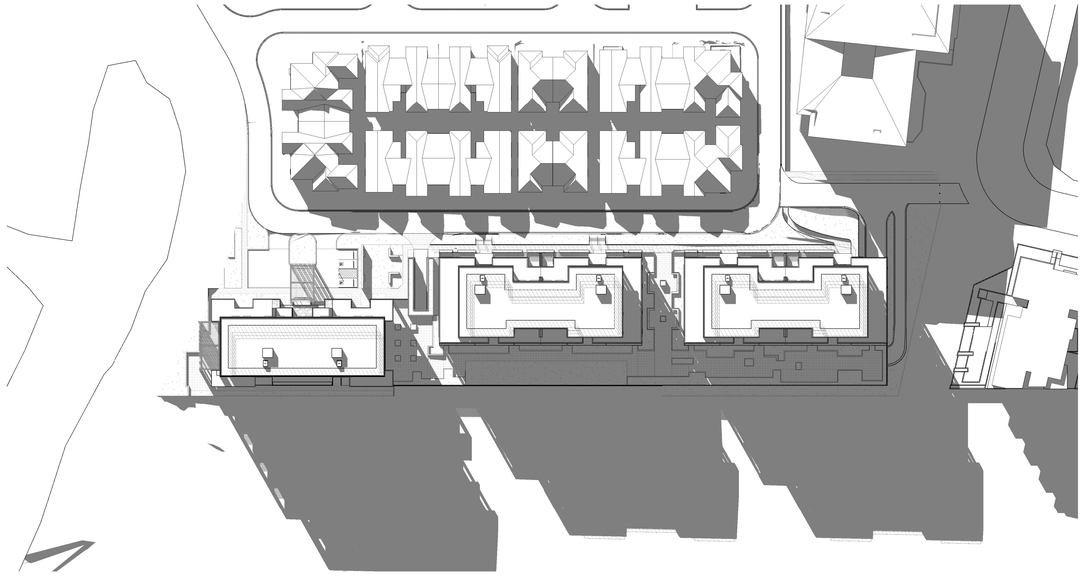


1 SHADOW DIAGRAM - WINTER 9AM



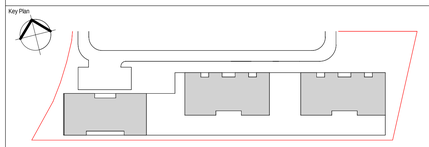
2 SHADOW DIAGRAM - WINTER NOON



3 SHADOW DIAGRAM - WINTER 3PM

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
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1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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Lendlease Integrated Solutions
ABN 51 632 932 391 **Level 14, Tower Three, International Towers Sydney**
Nominated Architect: **Exchange Place, 300 Barangaroo Avenue,**
Stephanie Smith | NSW ARB 6280 **Barangaroo NSW 2000**

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Project
JORDAN SPRINGS

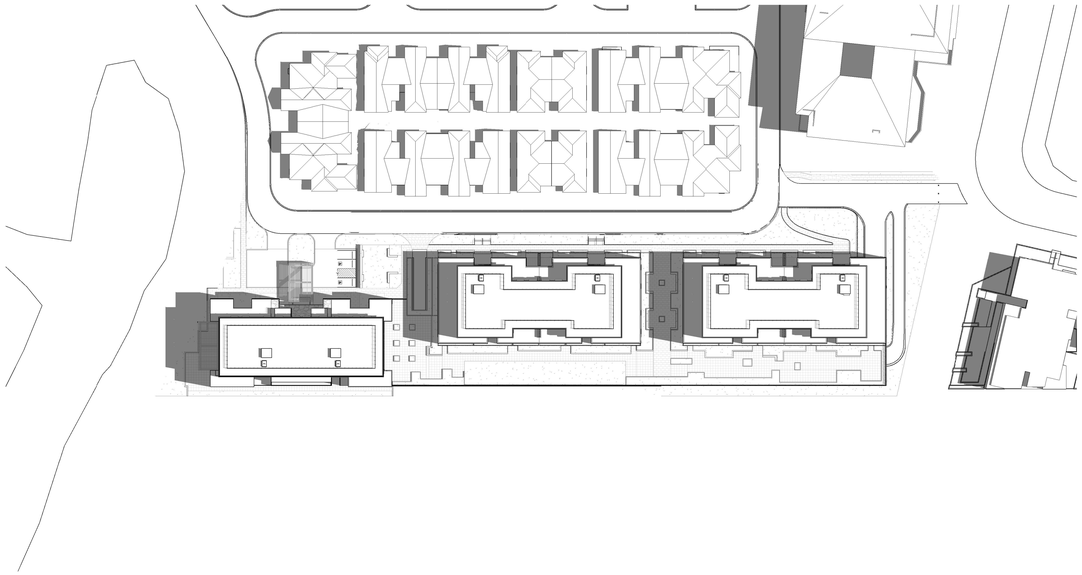
Client
LENDLEASE
RETIREMENT LIVING

Title
DIAGRAMS
SHADOW
SHEET 1

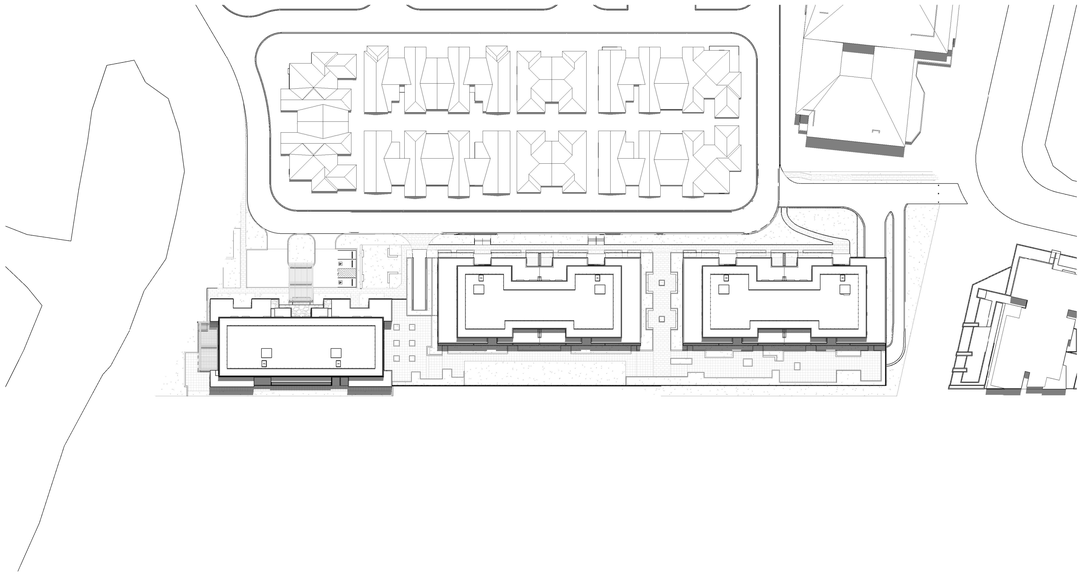
Scale @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

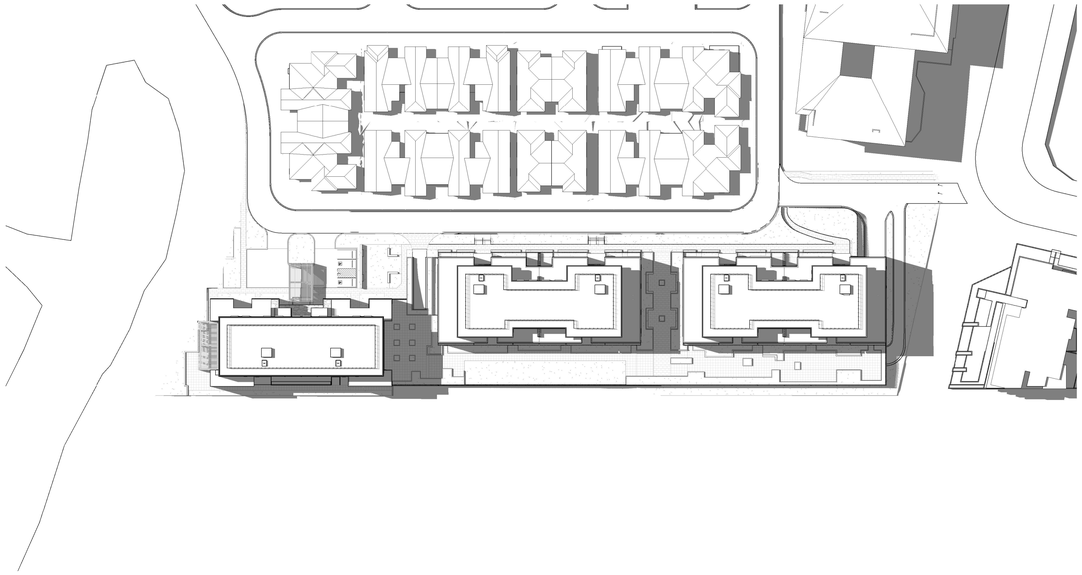
Project No.	Drawing No.	Revision
260436	DA_5_70001	2



1 SHADOW DIAGRAM - SUMMER 9AM



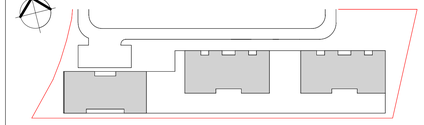
2 SHADOW DIAGRAM - SUMMER NOON



3 SHADOW DIAGRAM - SUMMER 3PM

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

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NSW Australia 2095

CLIENT:
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
DIAGRAMS
SHADOW
SHEET 2

Scale @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70002	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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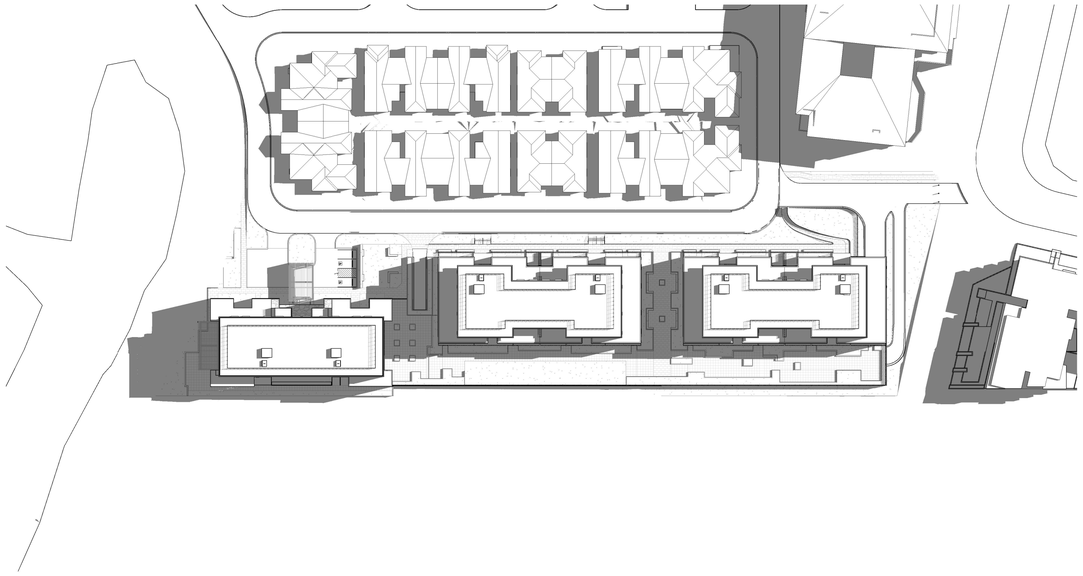
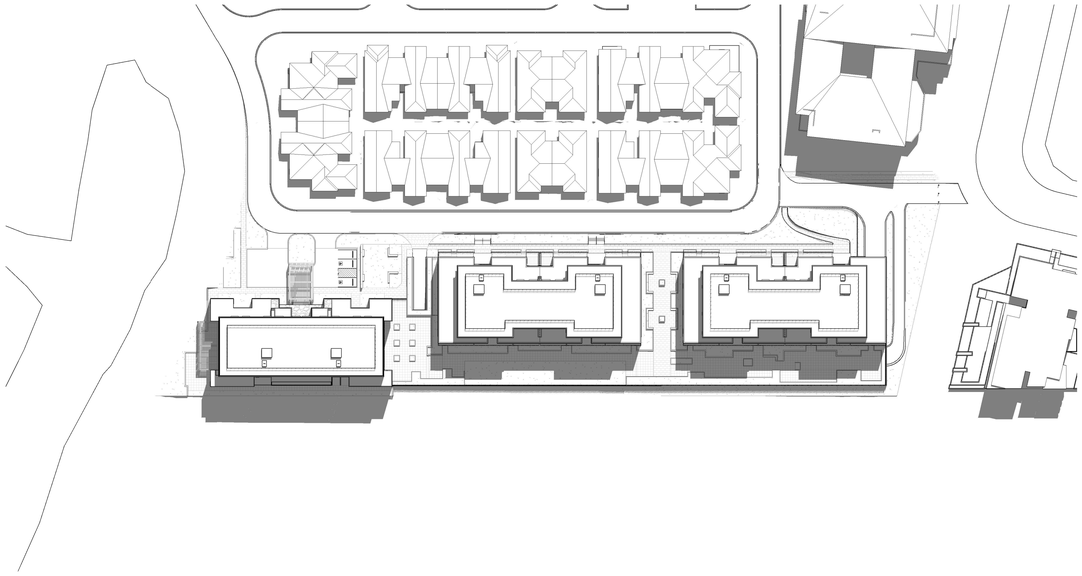
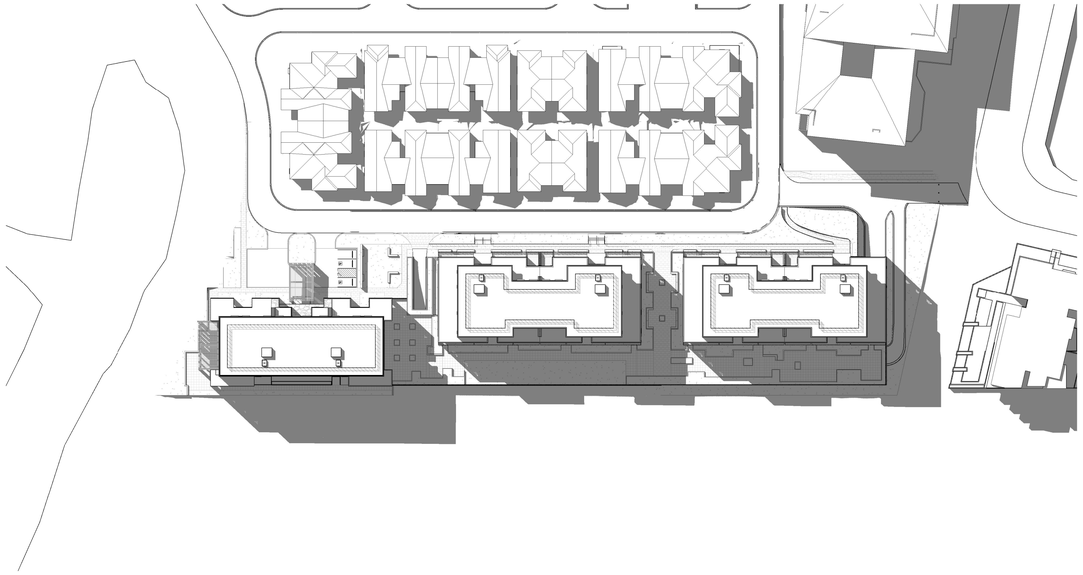


1 SHADOW DIAGRAM - AUTUMN 9AM



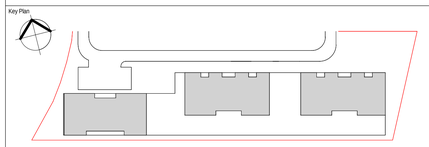
2 SHADOW DIAGRAM - AUTUMN NOON



3 SHADOW DIAGRAM - AUTUMN 3PM

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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Project
JORDAN SPRINGS

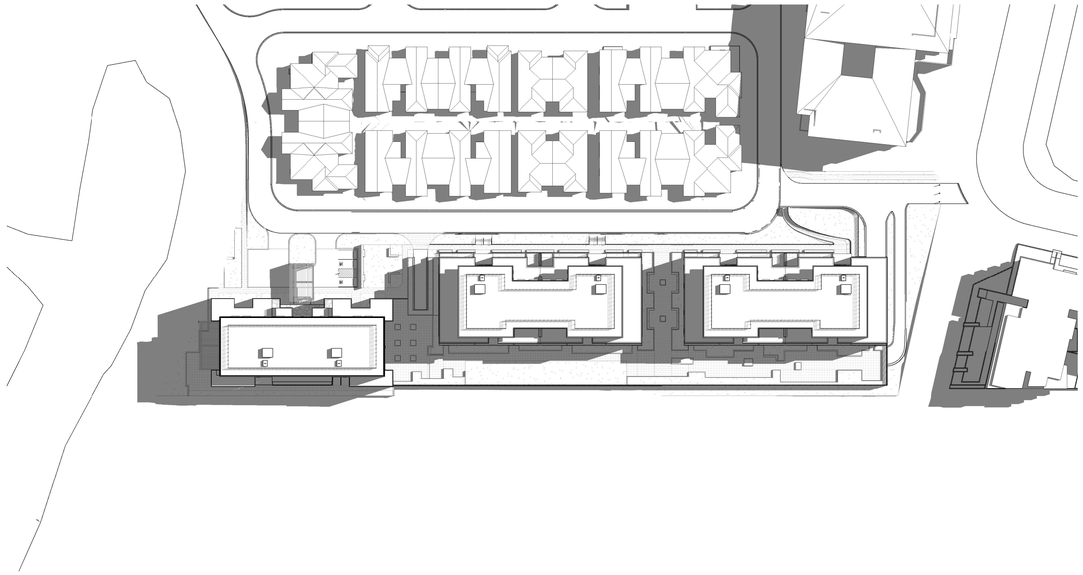
Client
LENDLEASE
RETIREMENT LIVING

Title
DIAGRAMS
SHADOW
SHEET 3

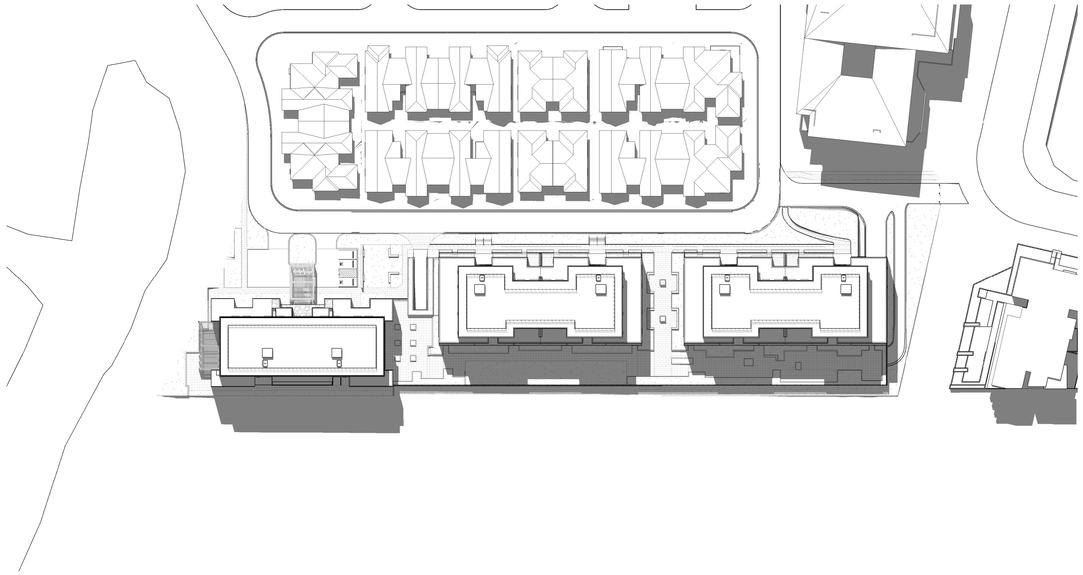
Scale @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

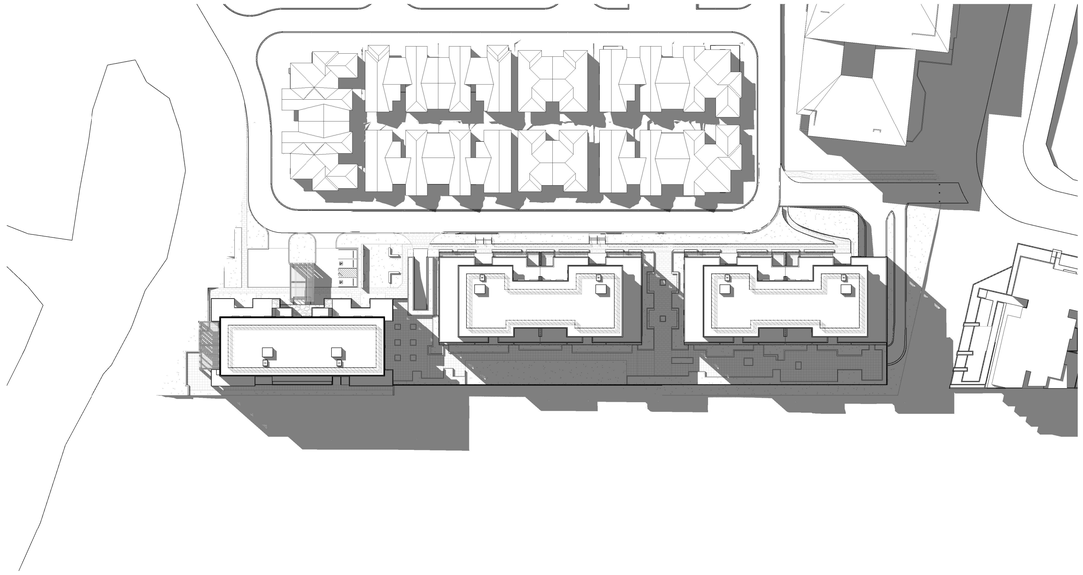
Project No.	Drawing No.	Revision
260436	DA_5_70003	2



1 SHADOW DIAGRAM - SPRING 9AM



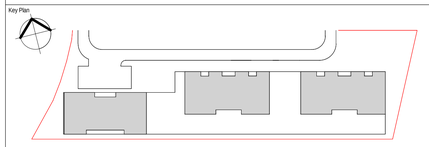
2 SHADOW DIAGRAM - SPRING NOON



3 SHADOW DIAGRAM - SPRING 3PM

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

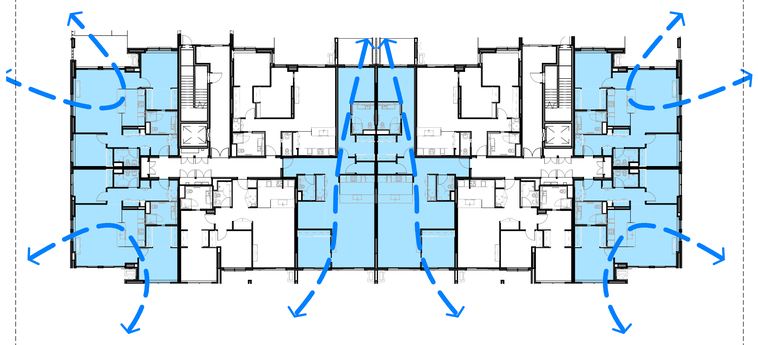
Title
DIAGRAMS
SHADOW
SHEET 4

Scale @ B1

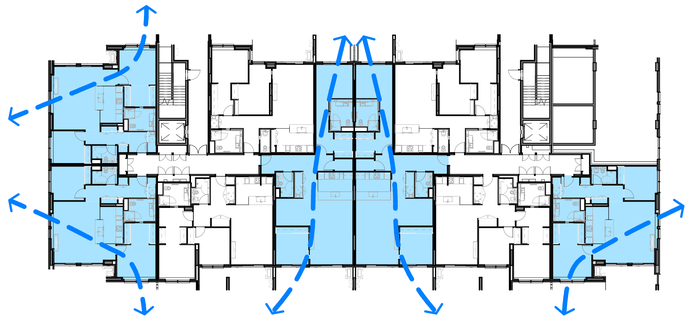
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70004	2

GROUND FLOOR - BUILDING B

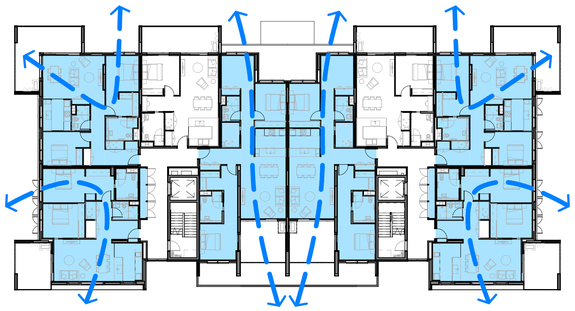


GROUND FLOOR - BUILDING C



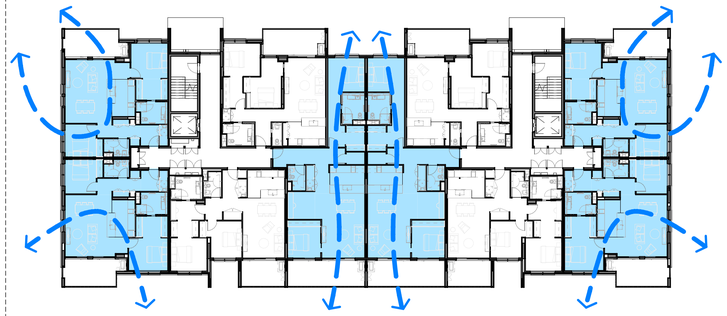
1 CROSS VENTILATION DIAGRAM GROUND FLOOR
1 : 250

LEVEL 1-3 - BUILDING A

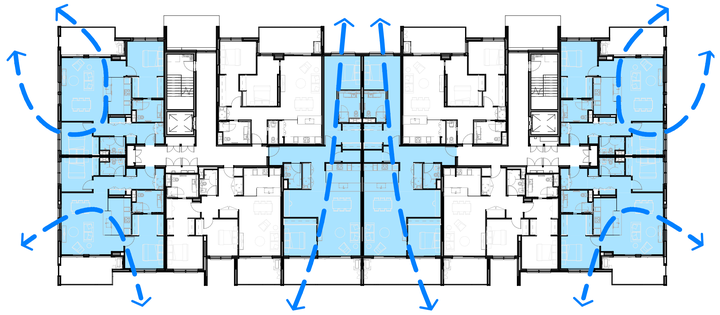


2 CROSS VENTILATION DIAGRAM LEVEL 01 - 03
1 : 250

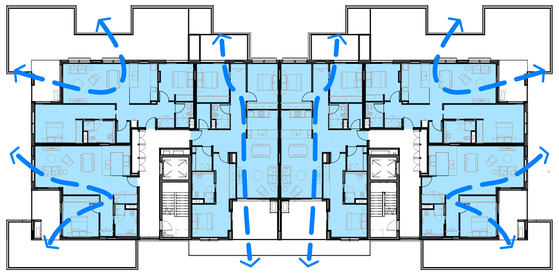
LEVEL 1-3 - BUILDING B



LEVEL 1-3 - BUILDING C

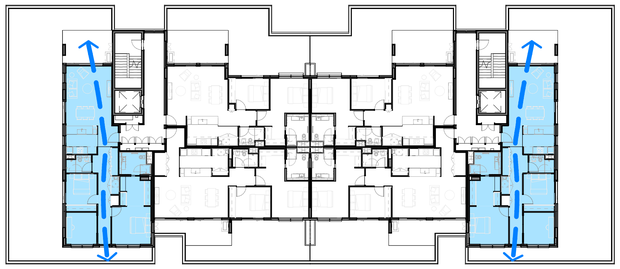


LEVEL 4-5 - BUILDING A

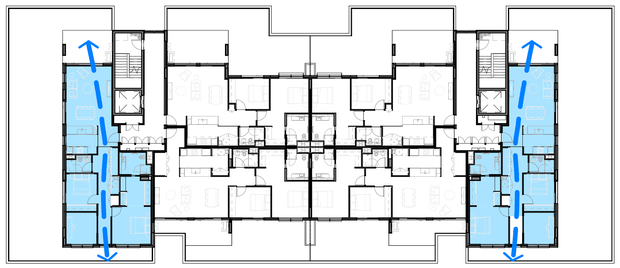


3 CROSS VENTILATION DIAGRAM LEVEL 04 - 05
1 : 250

LEVEL 4-5 - BUILDING B



LEVEL 4-5 - BUILDING C



BUILDING A COMPLIANCE

	COMPLIANT	APARTMENTS PER FLOOR
GROUND	-	-
LEVEL 01	6	8
LEVEL 02	6	8
LEVEL 03	6	8
LEVEL 04	6	6
LEVEL 05	6	6
TOTAL	30	36
83% COMPLIANCE		

BUILDING B COMPLIANCE

	COMPLIANT	APARTMENTS PER FLOOR
GROUND	6	10
LEVEL 01	6	10
LEVEL 02	6	10
LEVEL 03	6	10
LEVEL 04	2	6
LEVEL 05	2	6
TOTAL	28	52
54% COMPLIANCE		

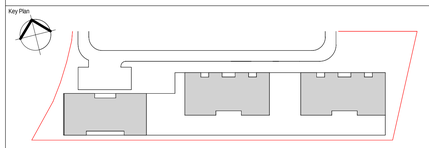
BUILDING C COMPLIANCE

	COMPLIANT	APARTMENTS PER FLOOR
GROUND	5	9
LEVEL 01	6	10
LEVEL 02	6	10
LEVEL 03	6	10
LEVEL 04	2	6
LEVEL 05	2	6
TOTAL	27	51
53% COMPLIANCE		

BUILDINGS ACHIEVE A COMBINED COMPLIANCE OF 63%.

FOR DEVELOPMENT APPLICATION

Key Plan



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LEGEND

NATURALLY VENTILATED APARTMENT

VENTILATION PATH

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Stephaine Smith | NSW ARB 6280 Barangaroo NSW 2000

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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
CROSS VENTILATION DIAGRAMS

Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70007	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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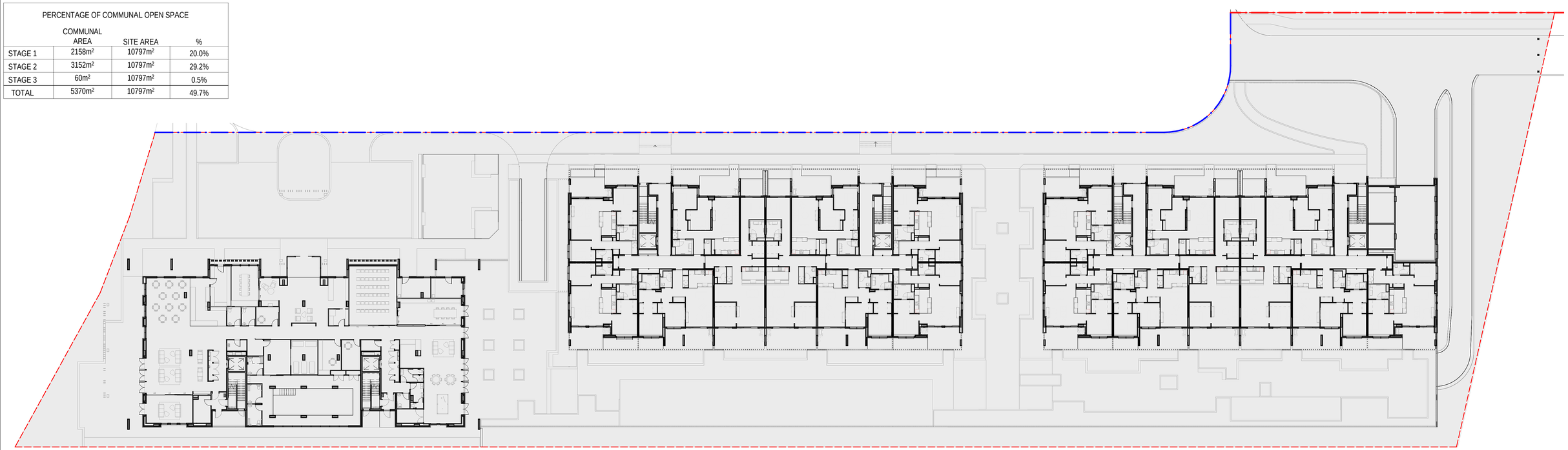
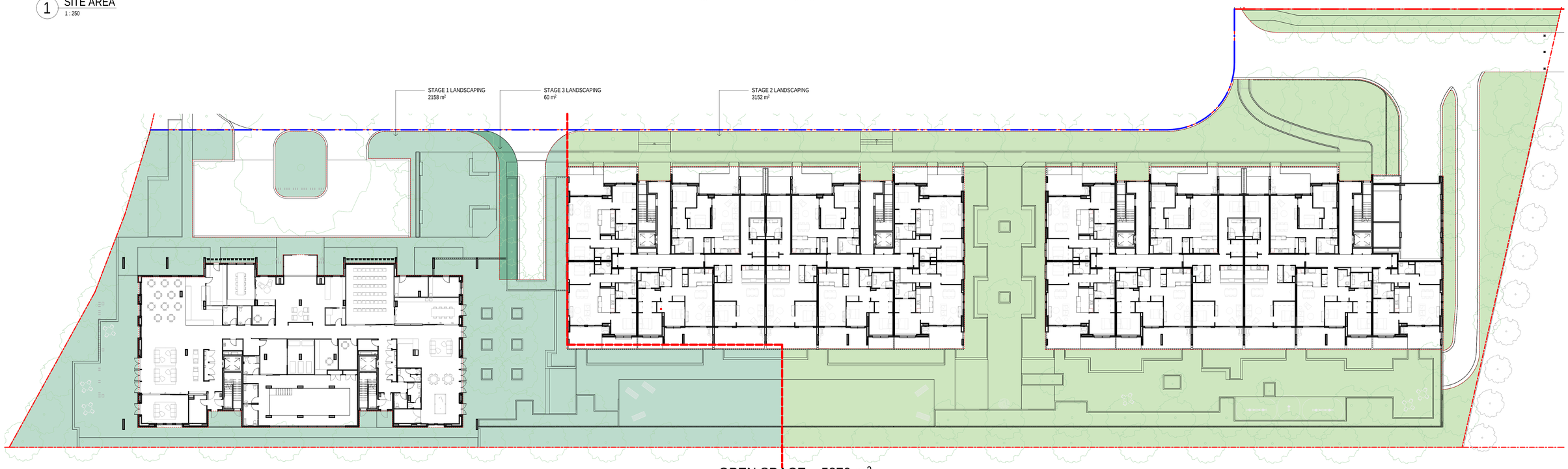
PERCENTAGE OF COMMUNAL OPEN SPACE

	COMMUNAL AREA	SITE AREA	%
STAGE 1	2158m²	10797m²	20.0%
STAGE 2	3152m²	10797m²	29.2%
STAGE 3	60m²	10797m²	0.5%
TOTAL	5370m²	10797m²	49.7%



1 SITE AREA
1 : 250

SITE AREA = 10797 m²

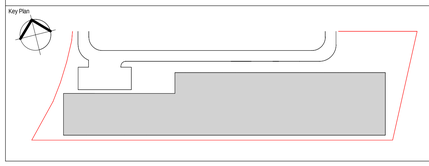


OPEN SPACE = 5370 m²

2 COMMUNAL SPACES
1 : 250

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
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LEGEND

- SITE AREA
- COMMUNAL AREA - STAGE 1
- COMMUNAL AREA - STAGE 2
- COMMUNAL AREA - STAGE 3 (FINAL)

GENERAL NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS
2. REFER TO DA_0_00006 FOR FINAL STAGING LAYOUT

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NSW Australia 1225

Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
COMMUNAL OPEN SPACE DIAGRAM

Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70008	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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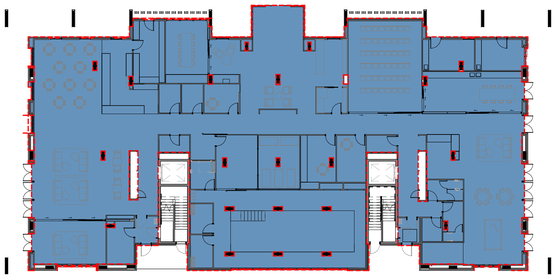
GFA (Definition from SREP No 30 - St Marys)

Gross Floor Area
means the sum of the areas of each floor of a building, where the area of each floor is taken to be the area within the outer face of the external enclosing walls as measured at a height of 1,400 millimetres above each floor level, but excluding:
(a) columns, fin walls, sun control devices, awnings and any elements, projections or works outside the general lines of the outer face of the external walls, and
(b) lift towers, cooling towers, machinery and plant rooms, ancillary storage space and air-conditioning ducts, and
(c) car parking needed to meet any requirements of the relevant council and any internal space used solely for vehicular or pedestrian access to that parking, and
(d) space for the loading and unloading of goods, and
(e) internal public arcades and thoroughfares, terraces and balconies with outer walls less than 1,400 millimetres high.

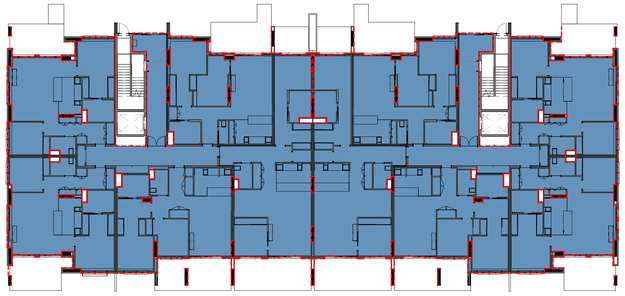
GROSS FLOOR AREA	
LEVEL	AREA
BUILDING A	
GROUND	1019.5 m²
LEVEL 01	860.7 m²
LEVEL 02	860.7 m²
LEVEL 03	860.7 m²
LEVEL 04	671.0 m²
LEVEL 05	671.0 m²
	4943.5 m²
BUILDING B	
GROUND	1139.5 m²
LEVEL 01	1111.2 m²
LEVEL 02	1111.2 m²
LEVEL 03	1111.2 m²
LEVEL 04	703.7 m²
LEVEL 04	703.7 m²
	5880.3 m²
BUILDING C	
GROUND	1039.0 m²
LEVEL 01	1111.2 m²
LEVEL 02	1111.2 m²
LEVEL 03	1111.2 m²
LEVEL 04	703.7 m²
LEVEL 05	703.7 m²
	5779.8 m²
BLOCK GFA	16603.5 m²

GROUND FLOOR - BUILDING A

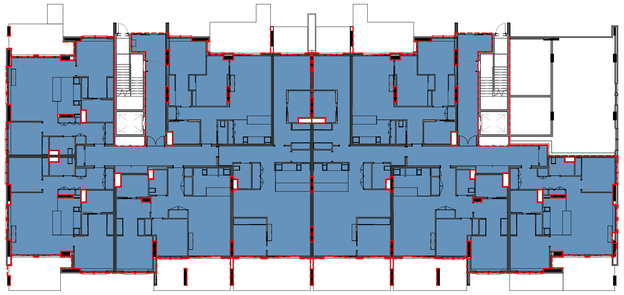


1 GFA GROUND
1 : 250

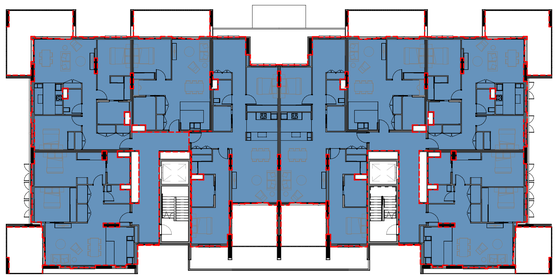
GROUND FLOOR - BUILDING B



GROUND FLOOR - BUILDING C

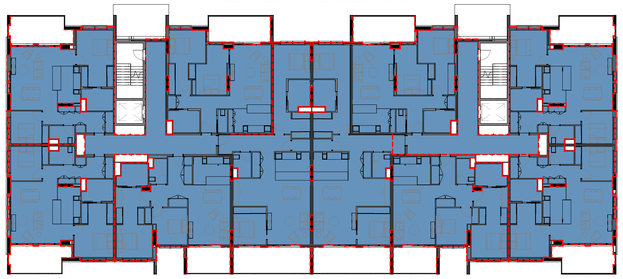


LEVELS 1-3 - BUILDING A

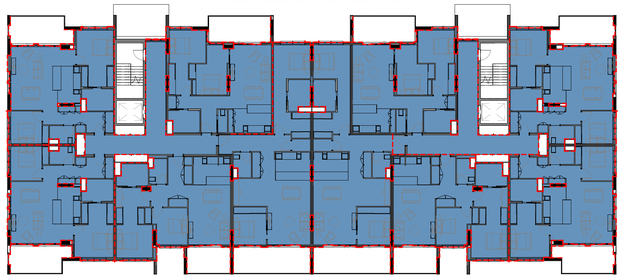


2 GFA LEVELS 01 -03
1 : 250

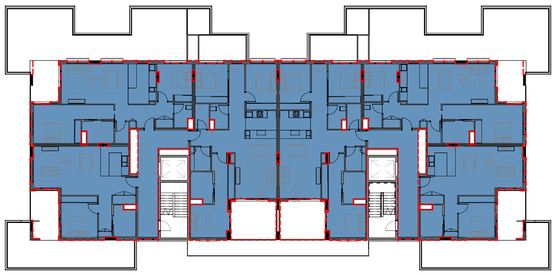
LEVELS 1-3 - BUILDING B



LEVELS 1-3 - BUILDING C

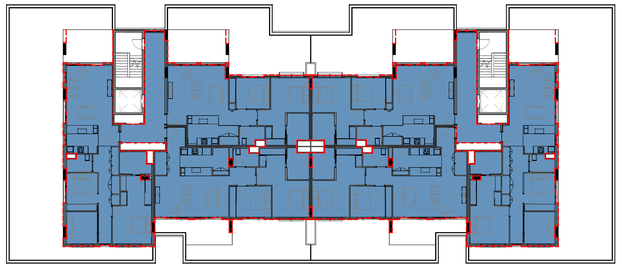


LEVELS 4-5 - BUILDING A

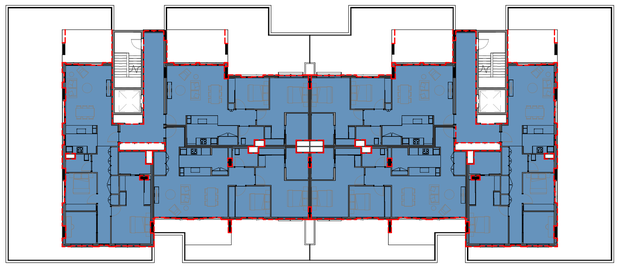


3 GFA LEVELS 04 - 05
1 : 250

LEVELS 4-5 - BUILDING B

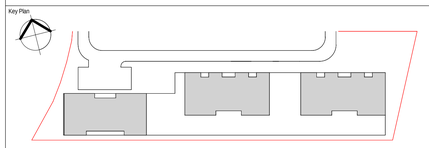


LEVELS 4-5 - BUILDING C



FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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Barangaroo NSW 2000

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LANDSCAPE:
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NSW Australia 1225

CLIENT:
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Jordan Springs Holding Pty Ltd
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Sydney Exchange Place, 300 Barangaroo
Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
GFA
DIAGRAMS

Scale 1 : 250 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70009	2

GFA (Definition from SREP No 30 - St Marys)

Gross Floor Area
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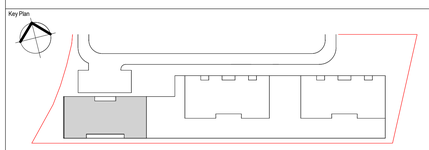
(d) space for the loading and unloading of goods, and
(e) internal public arcades and thoroughfares, terraces and balconies with outer walls less than 1,400 millimetres high.

APARTMENT TYPES

- 1 BED
- 1 BED + STUDY
- 2 BED
- 2 BED + STUDY
- 3 BED
- BALCONY

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

ADG CRITERIA

BEDROOMS

1 BEDROOM APARTMENT MIN. INTERNAL AREA OF 35SQM
2 BEDROOM APARTMENT MIN. INTERNAL AREA OF 70SQM
3 BEDROOM APARTMENT MIN. INTERNAL AREA OF 90SQM
MASTER BEDROOM TO HAVE A MIN. OF 10SQM, OTHER BEDROOMS MIN. 9SQM
BEDROOMS HAVE MIN DIMENSION OF 3M (EXCL. WARDROBE)

LIVING ROOMS

LIVING ROOMS/ DINING HAVE A MIN. WIDTH OF 3.6M FOR 1 BED, 4M FOR 2 & 3 BED APARTMENTS
MAXIMUM DEPTH OF OPEN PLAN LAYOUTS (LIVING, DINING, KITCHEN) IS 8M

BALCONIES

1 BED APARTMENT MIN. 8 SQM BALCONY AREA
2 BED APARTMENT MIN. 10 SQM BALCONY AREA
3 BED APARTMENT MIN. 12 SQM BALCONY AREA
MIN. BALCONY DEPTH TO BE 2.4M

CEILINGS

2.7M CEILING TO ALL HABITABLE ROOMS
2.4M CEILINGS TO NON-HABITABLE ROOMS
2.5M CEILING TO COMMON CORRIDORS

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Nominated Architect: **Exchange Place, 300 Barangaroo Avenue,**
Stephaine Smith | NSW ARB 6280 **Barangaroo NSW 2000**

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Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING A
KEY METRICS DIAGRAM
LEVEL 01 - LEVEL 03

Scale 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70021	1

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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APARTMENT TYPES

- 1 BED
- 1 BED + STUDY
- 2 BED
- 2 BED + STUDY
- 3 BED
- BALCONY

A4.01

NO. BED:	1
NO. BATHS:	1
GFA:	78.4 m²
MIN BALCONY AREA:	13.2 m²
MASTER BED AREA:	11.7 m²
OTHER BED AREA:	0.0 m²

A4.03

NO. BED:	3
NO. BATHS:	2
GFA:	125.4 m²
MIN BALCONY AREA:	17.0 m²
MASTER BED AREA:	11.6 m²
OTHER BED AREA:	11.2 m²

A4.04

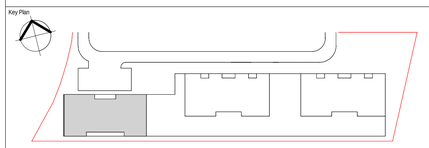
NO. BED:	3
NO. BATHS:	2
GFA:	125.4 m²
MIN BALCONY AREA:	17.0 m²
MASTER BED AREA:	11.6 m²
OTHER BED AREA:	11.2 m²

A4.06

NO. BED:	1
NO. BATHS:	1
GFA:	78.4 m²
MIN BALCONY AREA:	13.2 m²
MASTER BED AREA:	11.7 m²
OTHER BED AREA:	0.0 m²

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

ADG CRITERIA

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BEDROOMS HAVE MIN DIMENSION OF 3M (EXCL. WARDROBE)

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MAXIMUM DEPTH OF OPEN PLAN LAYOUTS (LIVING, DINING, KITCHEN) IS 8M

BALCONIES

1 BED APARTMENT MIN. 8 SQM BALCONY AREA
2 BED APARTMENT MIN. 10 SQM BALCONY AREA
3 BED APARTMENT MIN. 12 SQM BALCONY AREA
MIN. BALCONY DEPTH TO BE 2.4M

CEILINGS

2.7M CEILING TO ALL HABITABLE ROOMS
2.4M CEILINGS TO NON-HABITABLE ROOMS
2.5M CEILING TO COMMON CORRIDORS

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CLIENT:
Lendlease Retirement Living Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING A
KEY METRICS DIAGRAM
LEVEL 04 - 05

Scale	Drawn	Checked	Approved	Drawing Status
1 : 100 @ B1	LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70022	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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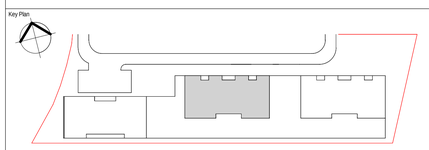
APARTMENT TYPES

- 1 BED
- 1 BED + STUDY
- 2 BED
- 2 BED + STUDY
- 3 BED
- BALCONY

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

ADG CRITERIA

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CLIENT:
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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING B
KEY METRICS DIAGRAM
GROUND FLOOR

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Checker Baptiste	Approver Smith	DA
Project No.	Drawing No.		Revision
260436	DA_5_70023		2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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B2.05

NO. BED:	2
NO. BATHS:	2
GFA:	99.1 m²
MIN BALCONY AREA:	16.2 m²
MASTER BED AREA:	12.2 m²
OTHER BED AREA:	9.5 m²

B2.01

NO. BED:	2
NO. BATHS:	2
GFA:	94.7 m²
MIN BALCONY AREA:	15.8 m²
MASTER BED AREA:	11.3 m²
OTHER BED AREA:	13.3 m²

B2.06

NO. BED:	2
NO. BATHS:	2
GFA:	94.7 m²
MIN BALCONY AREA:	15.8 m²
MASTER BED AREA:	11.3 m²
OTHER BED AREA:	13.3 m²

B2.10

NO. BED:	2
NO. BATHS:	2
GFA:	99.1 m²
MIN BALCONY AREA:	16.2 m²
MASTER BED AREA:	12.2 m²
OTHER BED AREA:	9.5 m²

B2.04

NO. BED:	2
NO. BATHS:	2
GFA:	99.3 m²
MIN BALCONY AREA:	15.2 m²
MASTER BED AREA:	12.2 m²
OTHER BED AREA:	10.0 m²

B2.03

NO. BED:	2 + STUDY
NO. BATHS:	2
GFA:	101.3 m²
MIN BALCONY AREA:	11.4 m²
MASTER BED AREA:	11.2 m²
OTHER BED AREA:	11.4 m²

B2.02

NO. BED:	2 + STUDY
NO. BATHS:	2
GFA:	118.7 m²
MIN BALCONY AREA:	19.7 m²
MASTER BED AREA:	11.7 m²
OTHER BED AREA:	9.6 m²

B2.07

NO. BED:	2 + STUDY
NO. BATHS:	2
GFA:	118.7 m²
MIN BALCONY AREA:	20.5 m²
MASTER BED AREA:	11.7 m²
OTHER BED AREA:	9.6 m²

B2.08

NO. BED:	2 + STUDY
NO. BATHS:	2
GFA:	101.3 m²
MIN BALCONY AREA:	11.4 m²
MASTER BED AREA:	11.2 m²
OTHER BED AREA:	11.4 m²

B2.09

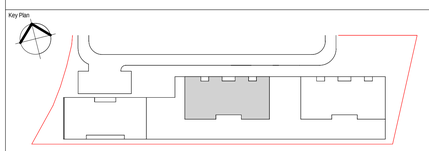
NO. BED:	2
NO. BATHS:	2
GFA:	99.3 m²
MIN BALCONY AREA:	15.2 m²
MASTER BED AREA:	12.2 m²
OTHER BED AREA:	10.0 m²

APARTMENT TYPES

- 1 BED
- 1 BED + STUDY
- 2 BED
- 2 BED + STUDY
- 3 BED
- BALCONY

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

ADG CRITERIA

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BALCONIES

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CEILINGS

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CLIENT:
Lendlease Retirement Living Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project: JORDAN SPRINGS

Client: LENDLEASE RETIREMENT LIVING

Title: BUILDING B
KEY METRICS DIAGRAM
LEVEL 01 TO LEVEL 03

Scale: 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70024	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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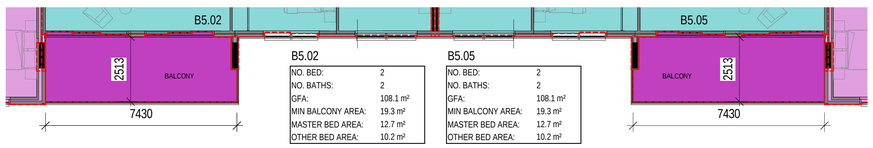
(c) car parking needed to meet any requirements of the relevant council and any internal space used solely for vehicular or pedestrian access to that parking, and
(d) space for the loading and unloading of goods, and
(e) internal public arcades and thoroughfares, terraces and balconies with outer walls less than 1,400 millimetres high.

B4.02

NO. BED:	2
NO. BATHS:	2
GFA:	108.1 m²
MIN BALCONY AREA:	14.0 m²
MASTER BED AREA:	12.7 m²
OTHER BED AREA:	10.2 m²

B4.05

NO. BED:	2
NO. BATHS:	2
GFA:	108.1 m²
MIN BALCONY AREA:	14.0 m²
MASTER BED AREA:	12.7 m²
OTHER BED AREA:	10.2 m²



B5.02

NO. BED:	2
NO. BATHS:	2
GFA:	108.1 m²
MIN BALCONY AREA:	19.3 m²
MASTER BED AREA:	12.7 m²
OTHER BED AREA:	10.2 m²

B5.05

NO. BED:	2
NO. BATHS:	2
GFA:	108.1 m²
MIN BALCONY AREA:	19.3 m²
MASTER BED AREA:	12.7 m²
OTHER BED AREA:	10.2 m²

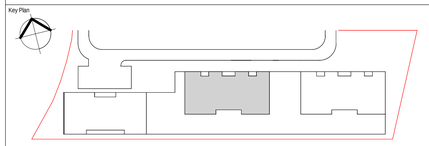
BUILDING B - LEVEL 05 PART-PLAN

APARTMENT TYPES

- 1 BED
- 1 BED + STUDY
- 2 BED
- 2 BED + STUDY
- 3 BED
- BALCONY

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

ADG CRITERIA

BEDROOMS

1 BEDROOM APARTMENT MIN. INTERNAL AREA OF 35SQM
2 BEDROOM APARTMENT MIN. INTERNAL AREA OF 70SQM
3 BEDROOM APARTMENT MIN. INTERNAL AREA OF 90SQM
MASTER BEDROOM TO HAVE A MIN. OF 10SQM, OTHER BEDROOMS MIN. 9SQM
BEDROOMS HAVE MIN DIMENSION OF 3M (EXCL. WARDROBE)

LIVING ROOMS

LIVING ROOMS/ DINING HAVE A MIN. WIDTH OF 3.6M FOR 1 BED, 4M FOR 2 & 3 BED APARTMENTS
MAXIMUM DEPTH OF OPEN PLAN LAYOUTS (LIVING, DINING, KITCHEN) IS 8M

BALCONIES

1 BED APARTMENT MIN. 8 SQM BALCONY AREA
2 BED APARTMENT MIN. 10 SQM BALCONY AREA
3 BED APARTMENT MIN. 12 SQM BALCONY AREA
MIN. BALCONY DEPTH TO BE 2.4M

CEILINGS

2.7M CEILING TO ALL HABITABLE ROOMS
2.4M CEILINGS TO NON-HABITABLE ROOMS
2.5M CEILING TO COMMON CORRIDORS

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PRINCIPAL ARCHITECT
Lendlease Integrated Solutions
ABN 51 632 932 391
Nominated Architect: Stephaine Smith | NSW ARB 6280
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

PLANNER:
Keylan Consulting
Suite 2, 1 Rialto Lane, Manly
NSW Australia 2095

STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS:
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ABN 51 632 932 391
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CIVIL:
ADW Johnson
5 Pioneer Avenue, Tuggerah
NSW Australia 2259

LANDSCAPE:
Clouston Associates
PO BOX R1388, Royal Exchange NSW
NSW Australia 1225

CLIENT:
Lendlease Retirement Living
Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING B
KEY METRICS DIAGRAM
LEVEL 04 - 05

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70025	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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GFA (Definition from SREP No 30 - St Marys)

Gross Floor Area
means the sum of the areas of each floor of a building, where the area of each floor is taken to be the area within the outer face of the external enclosing walls as measured at a height of 1,400 millimetres above each floor level, but excluding:
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(d) space for the loading and unloading of goods, and
(e) internal public arcades and thoroughfares, terraces and balconies with outer walls less than 1,400 millimetres high.

BG.05

NO. BED:	2
NO. BATHS:	2
GFA:	100.7 m²
MIN BALCONY AREA:	16.4 m²
MASTER BED AREA:	12.8 m²
OTHER BED AREA:	10.1 m²

BG.01

NO. BED:	2
NO. BATHS:	1 +
GFA:	95.4 m²
MIN BALCONY AREA:	15.9 m²
MASTER BED AREA:	11.8 m²
OTHER BED AREA:	13.4 m²

BG.06

NO. BED:	2
NO. BATHS:	1 +
GFA:	95.4 m²
MIN BALCONY AREA:	15.9 m²
MASTER BED AREA:	11.8 m²
OTHER BED AREA:	13.4 m²

BG.04

NO. BED:	2
NO. BATHS:	2
GFA:	100.5 m²
MIN BALCONY AREA:	16.4 m²
MASTER BED AREA:	12.6 m²
OTHER BED AREA:	10.5 m²

BG.03

NO. BED:	2 + STUDY
NO. BATHS:	2
GFA:	101.9 m²
MIN BALCONY AREA:	11.8 m²
MASTER BED AREA:	11.7 m²
OTHER BED AREA:	11.5 m²

BG.02

NO. BED:	2 + STUDY
NO. BATHS:	2
GFA:	118.5 m²
MIN BALCONY AREA:	20.5 m²
MASTER BED AREA:	11.8 m²
OTHER BED AREA:	9.6 m²

BG.07

NO. BED:	2 + STUDY
NO. BATHS:	2
GFA:	118.5 m²
MIN BALCONY AREA:	20.5 m²
MASTER BED AREA:	11.8 m²
OTHER BED AREA:	9.6 m²

BG.08

NO. BED:	2 + STUDY
NO. BATHS:	2
GFA:	101.9 m²
MIN BALCONY AREA:	11.8 m²
MASTER BED AREA:	11.7 m²
OTHER BED AREA:	11.5 m²

BG.09

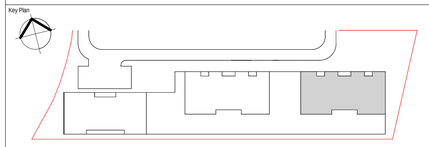
NO. BED:	2
NO. BATHS:	2
GFA:	100.5 m²
MIN BALCONY AREA:	16.4 m²
MASTER BED AREA:	12.6 m²
OTHER BED AREA:	10.5 m²

APARTMENT TYPES

- 1 BED
- 1 BED + STUDY
- 2 BED
- 2 BED + STUDY
- 3 BED
- BALCONY

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

ADG CRITERIA

BEDROOMS

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BALCONIES

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CEILINGS

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Lendlease Integrated Solutions
ABN 51 632 932 391 Level 14, Tower Three, International Towers Sydney
Nominated Architect: Exchange Place, 300 Barangaroo Avenue,
Stephaine Smith | NSW ARB 6280 Barangaroo NSW 2000

STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS:
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PLANNER:
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Suite 2, 1 Rialto Lane, Manly NSW Australia 2095

CLIENT:
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Project
JORDAN SPRINGS

Client
LENDLEASE RETIREMENT LIVING

Title
BUILDING C
KEY METRICS DIAGRAM
GROUND FLOOR

Scale 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Checker Baptiste	Approver Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70026	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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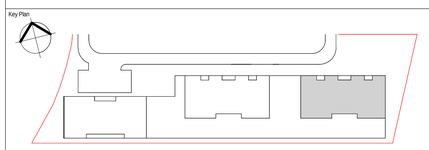
APARTMENT TYPES

- 1 BED
- 1 BED + STUDY
- 2 BED
- 2 BED + STUDY
- 3 BED
- BALCONY

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

ADG CRITERIA

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Nominated Architect: Stephanie Smith | NSW ARB 6280

STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS:
Lendlease Integrated Solutions
ABN 51 632 932 391 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

CIVIL:
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5 Pioneer Avenue, Tuggerah NSW Australia 2259

LANDSCAPE:
Clouston Associates
PO BOX R1388, Royal Exchange NSW NSW Australia 1225

PLANNER:
Keylan Consulting
Suite 2, 1 Rialto Lane, Manly NSW Australia 2095

CLIENT:
Lendlease Retirement Living
Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project: JORDAN SPRINGS

Client: LENDLEASE RETIREMENT LIVING

Title: BUILDING C
KEY METRICS DIAGRAM
LEVEL 01 - LEVEL 03

Scale: 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70027	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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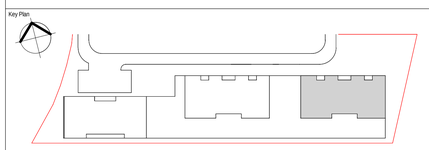
BUILDING C - LEVEL 05 PART-PLAN

APARTMENT TYPES

- 1 BED
- 1 BED + STUDY
- 2 BED
- 2 BED + STUDY
- 3 BED
- BALCONY

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

ADG CRITERIA

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Nominated Architect: Stephanie Smith | NSW ARB 6280
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PLANNER:
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CLIENT:
Lendlease Retirement Living Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project: JORDAN SPRINGS

Client: LENDLEASE RETIREMENT LIVING

Title: BUILDING C
KEY METRICS DIAGRAM
LEVEL 04 - 05

Scale	Drawn	Checked	Approved	Drawing Status
1 : 100 @ B1	LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70028	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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APARTMENT STORAGE BUILDING A

APARTMENT NUMBER	TOTAL STORAGE REQUIRED	INTERNAL STORAGE REQUIRED	ACTUAL STORAGE INTERNAL	BASEMENT STORAGE REQUIRED
LEVEL 1				
A1.01	8.00m³	4.00m³	4.85m³	3.15m³
A1.02	8.00m³	4.00m³	6.37m³	1.63m³
A1.03	8.00m³	4.00m³	4.64m³	3.36m³
A1.04	8.00m³	4.00m³	5.23m³	2.77m³
A1.05	8.00m³	4.00m³	5.23m³	2.77m³
A1.06	8.00m³	4.00m³	2.87m³	5.13m³
A1.07	8.00m³	4.00m³	6.37m³	1.63m³
A1.08	8.00m³	4.00m³	4.85m³	3.15m³
LEVEL 2				
A2.01	8.00m³	4.00m³	4.85m³	3.15m³
A2.02	8.00m³	4.00m³	6.37m³	1.63m³
A2.03	8.00m³	4.00m³	2.87m³	5.13m³
A2.04	8.00m³	4.00m³	5.23m³	2.77m³
A2.05	8.00m³	4.00m³	5.23m³	2.77m³
A2.06	8.00m³	4.00m³	2.87m³	5.13m³
A2.07	8.00m³	4.00m³	6.37m³	1.63m³
A2.08	8.00m³	4.00m³	4.85m³	3.15m³
LEVEL 3				
A3.01	8.00m³	4.00m³	4.85m³	3.15m³
A3.02	8.00m³	4.00m³	6.37m³	1.63m³
A3.03	8.00m³	4.00m³	2.87m³	5.13m³
A3.04	8.00m³	4.00m³	5.23m³	2.77m³
A3.05	8.00m³	4.00m³	5.23m³	2.77m³
A3.06	8.00m³	4.00m³	2.87m³	5.13m³
A3.07	8.00m³	4.00m³	6.37m³	1.63m³
A3.08	8.00m³	4.00m³	4.85m³	3.15m³
LEVEL 4				
A4.01	8.00m³	4.00m³	4.42m³	3.58m³
A4.02	8.00m³	4.00m³	6.64m³	1.36m³
A4.03	8.00m³	4.00m³	8.77m³	0.00m³
A4.04	8.00m³	4.00m³	8.77m³	0.00m³
A4.05	8.00m³	4.00m³	6.64m³	1.36m³
A4.06	8.00m³	4.00m³	4.42m³	3.58m³
LEVEL 5				
A5.01	8.00m³	4.00m³	4.42m³	3.58m³
A5.02	8.00m³	4.00m³	6.64m³	1.36m³
A5.03	8.00m³	4.00m³	8.77m³	0.00m³
A5.04	8.00m³	4.00m³	8.77m³	0.00m³
A5.05	8.00m³	4.00m³	6.64m³	1.36m³
A5.06	8.00m³	4.00m³	4.42m³	3.58m³
			197.01m³	94.07m³

BUILDING A REQUIRED BASEMENT STORAGE: 94.07m³

REQUIRED BASEMENT STORAGE BY BUILDING

BUILDING	BASEMENT STORAGE
BASEMENT	
BUILDING A	94.70 m³
BUILDING B	156.72 m³
BUILDING C	153.05 m³

APARTMENT STORAGE LOCATION

BUILDING A BASEMENT STORAGE

BUILDING B BASEMENT STORAGE

BUILDING C BASEMENT STORAGE

APARTMENT STORAGE BUILDING B

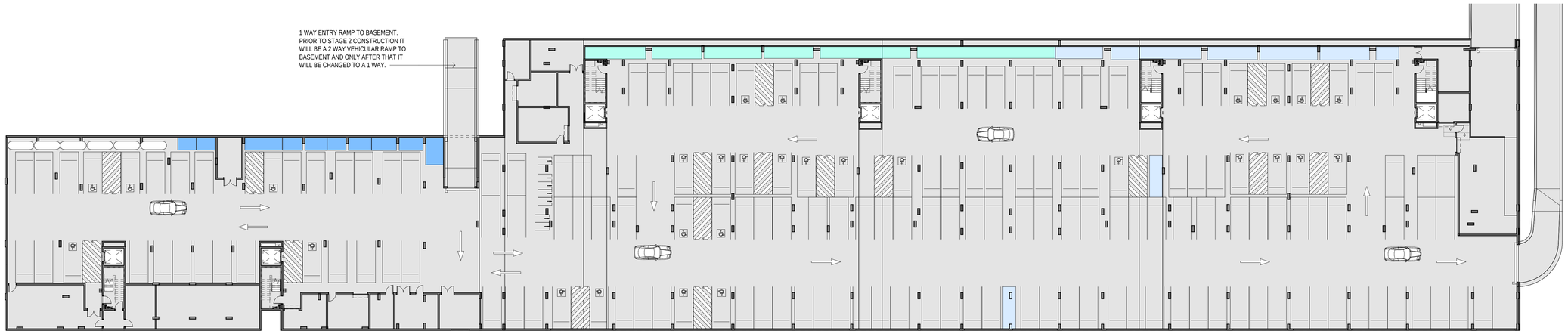
APARTMENT NUMBER	TOTAL STORAGE REQUIRED	INTERNAL STORAGE REQUIRED	ACTUAL STORAGE INTERNAL	BASEMENT STORAGE REQUIRED
GROUND				
BG.01	8.00m³	4.00m³	4.61m³	3.39m³
BG.02	8.00m³	4.00m³	5.82m³	2.18m³
BG.03	8.00m³	4.00m³	4.33m³	3.67m³
BG.04	8.00m³	4.00m³	4.31m³	3.69m³
BG.05	8.00m³	4.00m³	4.33m³	3.67m³
BG.06	8.00m³	4.00m³	4.61m³	3.39m³
BG.07	8.00m³	4.00m³	5.82m³	2.18m³
BG.08	8.00m³	4.00m³	4.33m³	3.67m³
BG.09	8.00m³	4.00m³	4.31m³	3.69m³
BG.10	8.00m³	4.00m³	4.33m³	3.67m³
LEVEL 1				
B1.01	8.00m³	4.00m³	4.61m³	3.39m³
B1.02	8.00m³	4.00m³	5.82m³	2.18m³
B1.03	8.00m³	4.00m³	4.33m³	3.67m³
B1.04	8.00m³	4.00m³	4.31m³	3.69m³
B1.05	8.00m³	4.00m³	4.33m³	3.67m³
B1.06	8.00m³	4.00m³	4.61m³	3.39m³
B1.07	8.00m³	4.00m³	5.82m³	2.18m³
B1.08	8.00m³	4.00m³	4.33m³	3.67m³
B1.09	8.00m³	4.00m³	4.31m³	3.69m³
B1.10	8.00m³	4.00m³	4.33m³	3.67m³
LEVEL 2				
B2.01	8.00m³	4.00m³	4.61m³	3.39m³
B2.02	8.00m³	4.00m³	5.82m³	2.18m³
B2.03	8.00m³	4.00m³	4.33m³	3.67m³
B2.04	8.00m³	4.00m³	4.31m³	3.69m³
B2.05	8.00m³	4.00m³	4.33m³	3.67m³
B2.06	8.00m³	4.00m³	4.61m³	3.39m³
B2.07	8.00m³	4.00m³	5.82m³	2.18m³
B2.08	8.00m³	4.00m³	4.33m³	3.67m³
B2.09	8.00m³	4.00m³	4.31m³	3.69m³
B2.10	8.00m³	4.00m³	4.33m³	3.67m³
LEVEL 3				
B3.01	8.00m³	4.00m³	4.61m³	3.39m³
B3.02	8.00m³	4.00m³	5.82m³	2.18m³
B3.03	8.00m³	4.00m³	4.33m³	3.67m³
B3.04	8.00m³	4.00m³	4.31m³	3.69m³
B3.05	8.00m³	4.00m³	4.33m³	3.67m³
B3.06	8.00m³	4.00m³	4.61m³	3.39m³
B3.07	8.00m³	4.00m³	5.82m³	2.18m³
B3.08	8.00m³	4.00m³	4.33m³	3.67m³
B3.09	8.00m³	4.00m³	4.31m³	3.69m³
B3.10	8.00m³	4.00m³	4.33m³	3.67m³
LEVEL 4				
B4.01	8.00m³	4.00m³	4.07m³	3.93m³
B4.02	8.00m³	4.00m³	6.74m³	1.26m³
B4.03	8.00m³	4.00m³	7.21m³	0.79m³
B4.04	8.00m³	4.00m³	4.07m³	3.93m³
B4.05	8.00m³	4.00m³	6.74m³	1.26m³
B4.06	8.00m³	4.00m³	7.21m³	0.79m³
LEVEL 5				
B5.01	8.00m³	4.00m³	4.07m³	3.93m³
B5.02	8.00m³	4.00m³	6.74m³	1.26m³
B5.03	8.00m³	4.00m³	7.21m³	0.79m³
B5.04	8.00m³	4.00m³	4.07m³	3.93m³
B5.05	8.00m³	4.00m³	6.74m³	1.26m³
B5.06	8.00m³	4.00m³	7.21m³	0.79m³
			259.28m³	156.72m³

BUILDING B REQUIRED BASEMENT STORAGE: 156.72m³

APARTMENT STORAGE BUILDING C

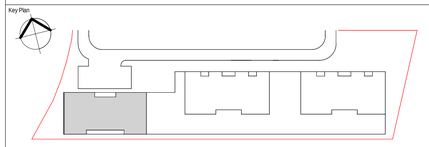
APARTMENT NUMBER	TOTAL STORAGE REQUIRED	INTERNAL STORAGE REQUIRED	ACTUAL STORAGE INTERNAL	BASEMENT STORAGE REQUIRED
GROUND				
CG.01	8.00m³	4.00m³	4.61m³	3.39m³
CG.02	8.00m³	4.00m³	5.82m³	2.18m³
CG.03	8.00m³	4.00m³	4.33m³	3.67m³
CG.04	8.00m³	4.00m³	4.31m³	3.69m³
CG.05	8.00m³	4.00m³	4.33m³	3.67m³
CG.06	8.00m³	4.00m³	4.61m³	3.39m³
CG.07	8.00m³	4.00m³	5.82m³	2.18m³
CG.08	8.00m³	4.00m³	4.33m³	3.67m³
CG.09	8.00m³	4.00m³	4.31m³	3.69m³
LEVEL 1				
C1.01	8.00m³	4.00m³	4.61m³	3.39m³
C1.02	8.00m³	4.00m³	5.82m³	2.18m³
C1.03	8.00m³	4.00m³	4.33m³	3.67m³
C1.04	8.00m³	4.00m³	4.31m³	3.69m³
C1.05	8.00m³	4.00m³	4.33m³	3.67m³
C1.06	8.00m³	4.00m³	4.61m³	3.39m³
C1.07	8.00m³	4.00m³	5.82m³	2.18m³
C1.08	8.00m³	4.00m³	4.33m³	3.67m³
C1.09	8.00m³	4.00m³	4.31m³	3.69m³
C1.10	8.00m³	4.00m³	4.33m³	3.67m³
LEVEL 2				
C2.01	8.00m³	4.00m³	4.61m³	3.39m³
C2.02	8.00m³	4.00m³	5.82m³	2.18m³
C2.03	8.00m³	4.00m³	4.33m³	3.67m³
C2.04	8.00m³	4.00m³	4.31m³	3.69m³
C2.05	8.00m³	4.00m³	4.33m³	3.67m³
C2.06	8.00m³	4.00m³	4.61m³	3.39m³
C2.07	8.00m³	4.00m³	5.82m³	2.18m³
C2.08	8.00m³	4.00m³	4.33m³	3.67m³
C2.09	8.00m³	4.00m³	4.31m³	3.69m³
C2.10	8.00m³	4.00m³	4.33m³	3.67m³
LEVEL 3				
C3.01	8.00m³	4.00m³	4.61m³	3.39m³
C3.02	8.00m³	4.00m³	5.82m³	2.18m³
C3.03	8.00m³	4.00m³	4.33m³	3.67m³
C3.04	8.00m³	4.00m³	4.31m³	3.69m³
C3.05	8.00m³	4.00m³	4.33m³	3.67m³
C3.06	8.00m³	4.00m³	4.61m³	3.39m³
C3.07	8.00m³	4.00m³	5.82m³	2.18m³
C3.08	8.00m³	4.00m³	4.33m³	3.67m³
C3.09	8.00m³	4.00m³	4.31m³	3.69m³
C3.10	8.00m³	4.00m³	4.33m³	3.67m³
LEVEL 4				
C4.01	8.00m³	4.00m³	4.07m³	3.93m³
C4.02	8.00m³	4.00m³	6.74m³	1.26m³
C4.03	8.00m³	4.00m³	7.21m³	0.79m³
C4.04	8.00m³	4.00m³	4.07m³	3.93m³
C4.05	8.00m³	4.00m³	6.74m³	1.26m³
C4.06	8.00m³	4.00m³	7.21m³	0.79m³
LEVEL 5				
C5.01	8.00m³	4.00m³	4.07m³	3.93m³
C5.02	8.00m³	4.00m³	6.74m³	1.26m³
C5.03	8.00m³	4.00m³	7.21m³	0.79m³
C5.04	8.00m³	4.00m³	4.07m³	3.93m³
C5.05	8.00m³	4.00m³	6.74m³	1.26m³
C5.06	8.00m³	4.00m³	7.21m³	0.79m³
			254.95m³	153.05m³

BUILDING C REQUIRED BASEMENT STORAGE: 153.05m³



FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
OVERALL PLAN
STORAGE DIAGRAM
BASEMENT

Scale			
1 : 250 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70030	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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APARTMENT STORAGE BUILDING A (L01 - L03)		
TOTAL STORAGE REQUIRED	INTERNAL STORAGE REQUIRED	ACTUAL STORAGE INTERNAL
A1.01		
8.00 m³	4.00 m³	4.85 m³
A1.02		
8.00 m³	4.00 m³	6.37 m³
A1.03		
8.00 m³	4.00 m³	4.64 m³
A1.04		
8.00 m³	4.00 m³	5.23 m³
A1.05		
8.00 m³	4.00 m³	5.23 m³
A1.06		
8.00 m³	4.00 m³	2.87 m³
A1.07		
8.00 m³	4.00 m³	6.37 m³
A1.08		
8.00 m³	4.00 m³	4.85 m³

APARTMENT STORAGE LOCATION

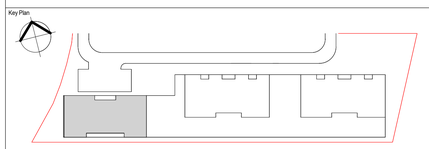
BUILDING A BASEMENT STORAGE

BUILDING B BASEMENT STORAGE

BUILDING C BASEMENT STORAGE

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING A
STORAGE DIAGRAM
LEVEL 01 - 03

Scale
1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70031	1

APARTMENT STORAGE BUILDING A (L04 - L05)

Total Storage Required	Internal Storage Required	Actual Storage
A4.01		
8.00 m³	4.00 m³	4.42 m³
A4.02		
8.00 m³	4.00 m³	6.64 m³
A4.03		
8.00 m³	4.00 m³	8.77 m³
A4.04		
8.00 m³	4.00 m³	8.77 m³
A4.05		
8.00 m³	4.00 m³	6.64 m³
A4.06		
8.00 m³	4.00 m³	4.42 m³

APARTMENT STORAGE LOCATION

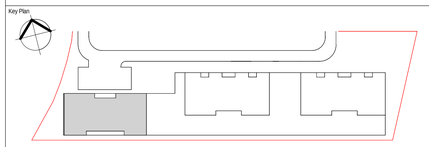
BUILDING A BASEMENT STORAGE

BUILDING B BASEMENT STORAGE

BUILDING C BASEMENT STORAGE

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING A
STORAGE DIAGRAM
LEVEL 04 - 05

Scale 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70032	2

APARTMENT STORAGE BUILDING B - GF - L03

TOTAL STORAGE REQUIRED	INTERNAL STORAGE REQUIRED	ACTUAL STORAGE
B1.01		
8.00 m³	4.00 m³	4.61 m³
B1.02		
8.00 m³	4.00 m³	5.82 m³
B1.03		
8.00 m³	4.00 m³	4.33 m³
B1.04		
8.00 m³	4.00 m³	4.31 m³
B1.05		
8.00 m³	4.00 m³	4.33 m³
B1.06		
8.00 m³	4.00 m³	4.61 m³
B1.07		
8.00 m³	4.00 m³	5.82 m³
B1.08		
8.00 m³	4.00 m³	4.33 m³
B1.09		
8.00 m³	4.00 m³	4.31 m³
B1.10		
8.00 m³	4.00 m³	4.33 m³

APARTMENT STORAGE LOCATION

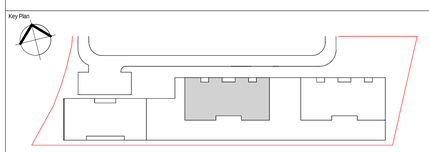
BUILDING A BASEMENT STORAGE

BUILDING B BASEMENT STORAGE

BUILDING C BASEMENT STORAGE

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING B
STORAGE DIAGRAM
GROUND FLOOR - LEVEL 03

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70033	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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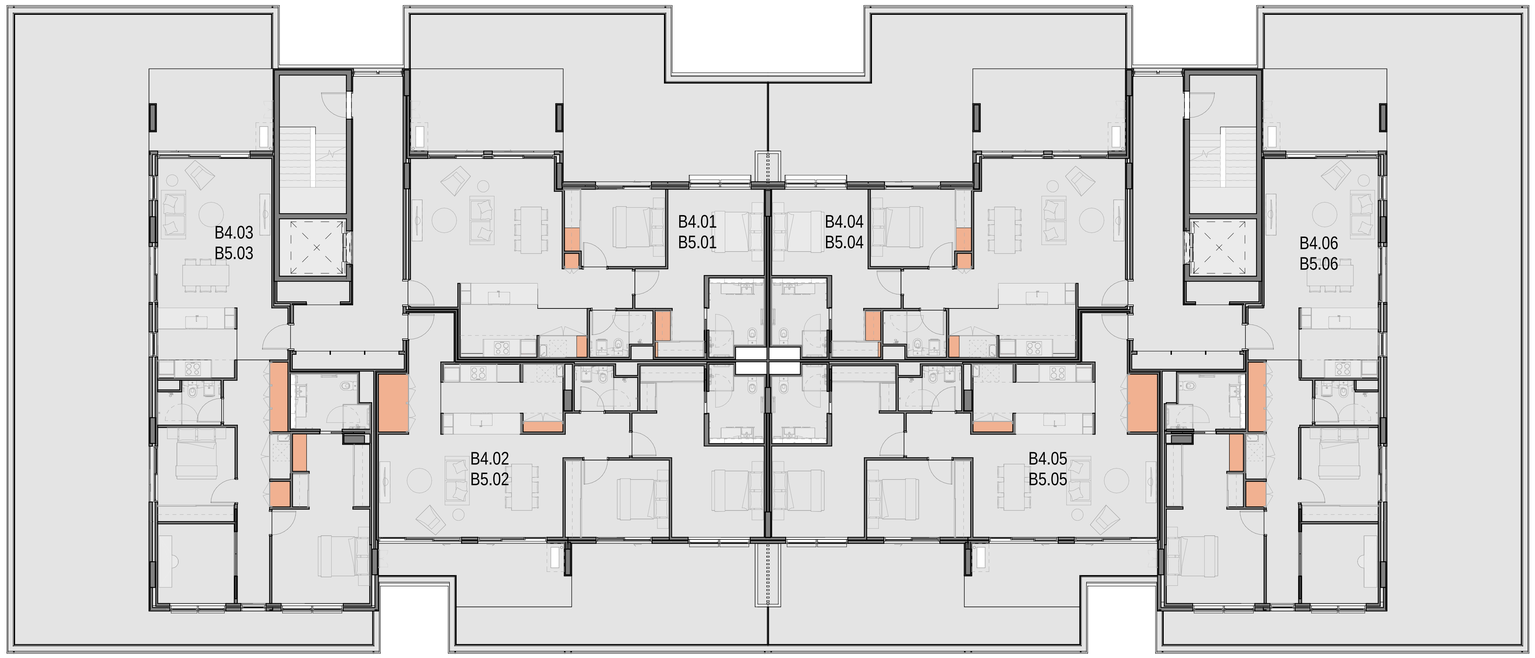


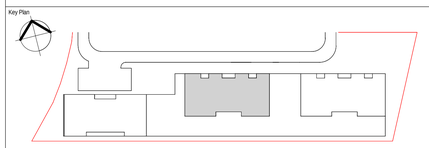
APARTMENT STORAGE BUILDING B (L04 - L05)

Total Storage Required	Internal Storage Required	Actual Storage
B4.01		
8.00 m³	4.00 m³	4.07 m³
B4.02		
8.00 m³	4.00 m³	6.74 m³
B4.03		
8.00 m³	4.00 m³	7.21 m³
B4.04		
8.00 m³	4.00 m³	4.07 m³
B4.05		
8.00 m³	4.00 m³	6.74 m³
B4.06		
8.00 m³	4.00 m³	7.21 m³

- APARTMENT STORAGE LOCATION
- BUILDING A BASEMENT STORAGE
- BUILDING B BASEMENT STORAGE
- BUILDING C BASEMENT STORAGE

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING B
STORAGE DIAGRAM
LEVEL 04 - 05

Scale			
1 : 100 @ B1			
Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70034	2

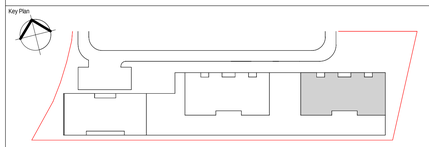
APARTMENT STORAGE BUILDING C (GF - L03)

Total Storage Required	Internal Storage Required	Actual Storage
C1.01		
8.00 m³	4.00 m³	4.61 m³
C1.02		
8.00 m³	4.00 m³	5.82 m³
C1.03		
8.00 m³	4.00 m³	4.33 m³
C1.04		
8.00 m³	4.00 m³	4.31 m³
C1.05		
8.00 m³	4.00 m³	4.33 m³
C1.06		
8.00 m³	4.00 m³	4.61 m³
C1.07		
8.00 m³	4.00 m³	5.82 m³
C1.08		
8.00 m³	4.00 m³	4.33 m³
C1.09		
8.00 m³	4.00 m³	4.31 m³
C1.10		
8.00 m³	4.00 m³	4.33 m³

- APARTMENT STORAGE LOCATION
- BUILDING A BASEMENT STORAGE
- BUILDING B BASEMENT STORAGE
- BUILDING C BASEMENT STORAGE

FOR DEVELOPMENT APPLICATION

Key Plan



Rev.	Description	Date
2	SUBMITTED FOR DEVELOPMENT APPLICATION	20/05/2020
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

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CLIENT:
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Project
JORDAN SPRINGS

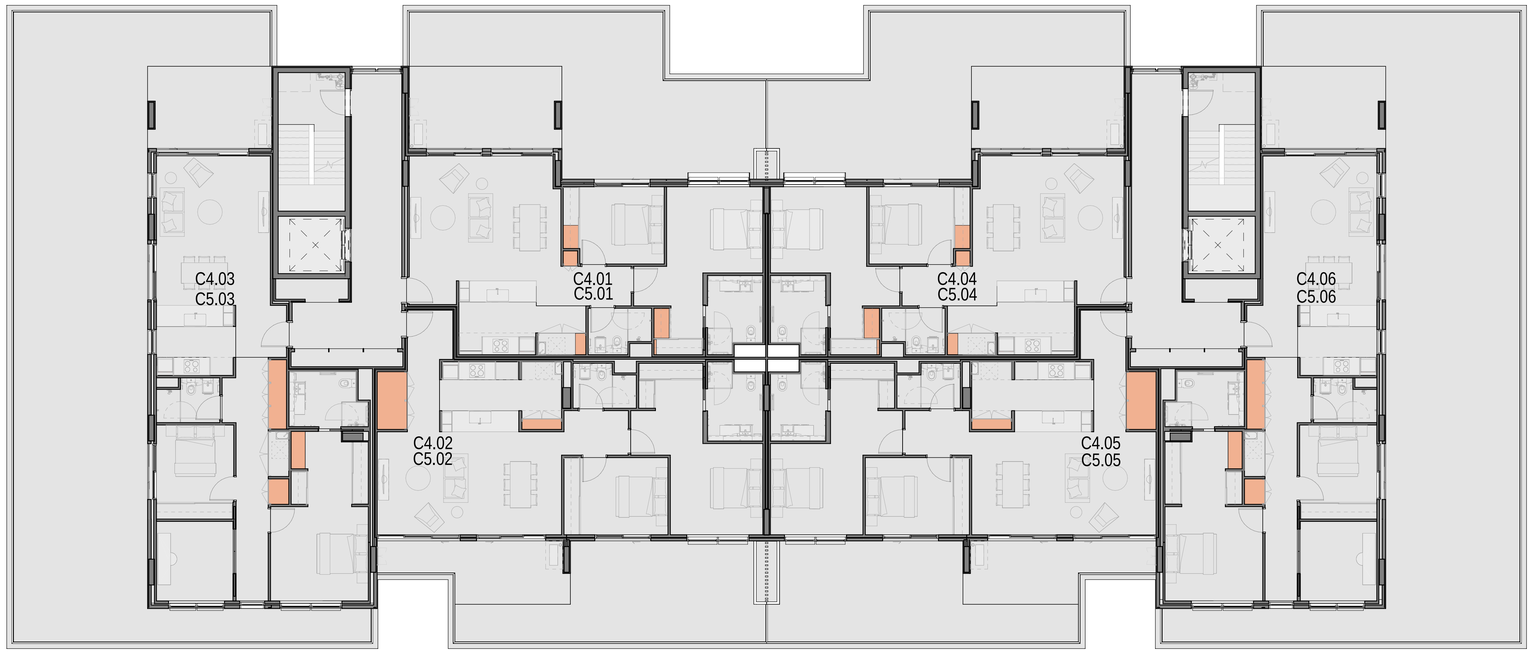
Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING C
STORAGE DIAGRAM
GROUND FLOOR - LEVEL 03

Scale
1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70035	2



APARTMENT STORAGE BUILDING C (L04 - L05)

Total Internal Storage Required	Internal Storage Required	Actual Storage
C4.01		
8.00 m³	4.00 m³	4.07 m³
C4.02		
8.00 m³	4.00 m³	6.74 m³
C4.03		
8.00 m³	4.00 m³	7.21 m³
C4.04		
8.00 m³	4.00 m³	4.07 m³
C4.05		
8.00 m³	4.00 m³	6.74 m³
C4.06		
8.00 m³	4.00 m³	7.21 m³

APARTMENT STORAGE LOCATION

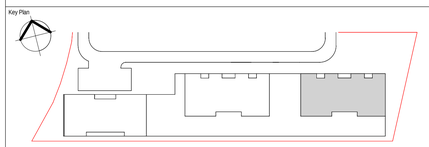
BUILDING A BASEMENT STORAGE

BUILDING B BASEMENT STORAGE

BUILDING C BASEMENT STORAGE

FOR DEVELOPMENT APPLICATION

Key Plan



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Project
JORDAN SPRINGS

Client
LENDLEASE
RETIREMENT LIVING

Title
BUILDING C
STORAGE DIAGRAM
LEVEL 04 - 05

Scale 1 : 100 @ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70036	2

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

If this drawing is printed or plotted at a size other than B1 - DO NOT SCALE DIMENSIONS FROM DRAWING
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F01

Location: Facade
Pre-Finished Non-Combustible
Facade Panel
Colour: Expressed Dark Timber Look
or equivalent

F06

Location: Facade
Pre-Finished Non-Combustible
Facade Panel
Colour: Expressed Light Teak
Timber Look or equivalent

G01

Location: Sliding doors
Double Single glazing
Colour: Clear

G02

Location: Windows
Glazed
Colour: Clear

C01

Painted Concrete Finish
Location: Roof Concrete Hob Edge
Painted Finish
Colour: To match G03

F02

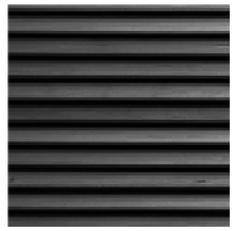
Location: Facade
Light Grey Brick
Colour: Light Grey or equivalent

F07

Location: Facade
Medium Brown Brick
Colour: Medium Brown or equivalent

G03

Location: Aluminium Powdercoated
Glazing Frames
Colour: Dark Grey or equivalent

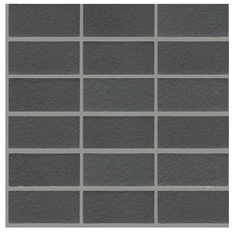


L01

Location: Facade Natural Makeup
Air Opening
Aluminium Louvres
Colour: Dark Grey Powdercoated to
match G03

F03

Location: Facade
Dark Grey Brick
Colour: Grey Black or equivalent



F08

Location: Facade
Dark Brick
Colour: Black or equivalent

B01

Location: Balustrade
Powdercoated Metal
Colour: To match F04

FO4

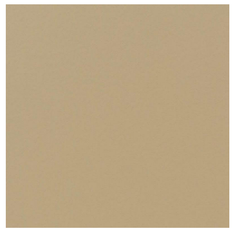
Location: Facade
Pre-Finished Non-Combustible
Facade Panel
Colour: Smooth White or equivalent

F09

Location: Facade
Pre-Finished Non-Combustible
Facade Panel
Colour: Dark Grey to match G03

B02

Location: Balustrade
Glazed
Colour: Clear



FO5

Location: Facade
Pre-Finished Non-Combustible
Facade Panel
Colour: Smooth Light Beige or
equivalent

S01

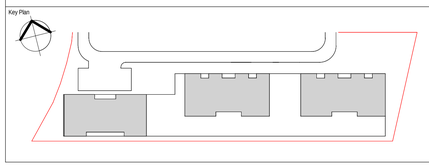
Location: Facade
Timber Look Battens
Colour: Light Teak Timber Look or
equivalent

B03

Location: Ground floor metal public
balustrade
Colour: to match G03

FOR DEVELOPMENT APPLICATION

Key Plan



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Project
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Client
LENDLEASE
RETIREMENT LIVING

Title
FAÇADE
MATERIALS

Scale
@ B1

Drawn	Checked	Approved	Drawing Status
LLIS	Marc Jean-Baptiste	Stephanie Smith	DA

Project No.	Drawing No.	Revision
260436	DA_5_70037	2